

DEMOLITION - GENERAL NOTES

- LOCATE AND MARK ALL EXISTING UTILITY, SERVICE AND SYSTEMS LOCATIONS PRIOR TO COMMENCING WITH DEMOLITION PRACTICES. FIELD VERIFY LOCATIONS OF ALL EXISTING UTILITY COMPONENTS.
- COORDINATE ACTUAL LIMITS OF DEMOLITION WITH REQUIREMENTS OF NEW CONSTRUCTION.
- SALVAGE ITEMS AS INDICATED AND STORE IN A SAFE AND PROTECTED LOCATION UNTIL THEY ARE TURNED OVER TO THE OWNER OR REINSTALLED FOR THEIR INTENDED USE.
- UTILITIES AND SERVICES TO BE ABANDONED ARE TO BE DEMOLISHED TO BELOW ADJACENT FINISH SURFACES AND PROPERLY CAPPED.
- PROTECT EXISTING CONSTRUCTION TO REMAIN DURING DEMOLITION. REPAIR OR REPLACE ANY ITEMS THAT ARE BROKEN/DAMAGED DURING DEMOLITION TO NEW CONDITION.
- REFER TO DOCUMENTS OF OTHER DISCIPLINES (MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, SYSTEMS, ETC.) FOR ADDITIONAL INFORMATION PERTAINING TO DEMOLITION AND NEW CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND PAYING ALL ASSOCIATED FEES PRIOR TO COMMENCEMENT OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING THE PROJECT CONSTRUCTION AREA DURING CONSTRUCTION.
- COORDINATE EQUIPMENT ROUGH-OPENING SIZES AND LOCATIONS WITH THE ITEMS TO BE INSTALLED.
- PROVIDE DEMOLITION OF EXISTING ITEMS TO EXTENT REQUIRED FOR A COMPLETE DEMOLITION AND NEW INSTALLATION, WHETHER SPECIFICALLY INDICATED OR NOT. FIELD VERIFY EXACT EXISTING CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DUST CONTROL MEASURES DURING DEMOLITION AND NEW CONSTRUCTION.
- FOR ITEMS NOTED TO BE REMOVED, BUT NOT SALVAGED FOR RE-USE, COORDINATE WITH OWNER WHICH ITEMS THE OWNER WISHES TO HAVE TURNED OVER TO THEM. COORDINATE WITH THE OWNER WHERE THESE ITEMS ARE TO BE DEPOSITED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY BRACING AND SUPPORT OF EXISTING CONSTRUCTION ELEMENTS TO REMAIN. TEMPORARY BRACING, SHORING, SUPPORTS, ETC., ARE TO BE INSTALLED PRIOR TO COMMENCING DEMOLITION WORK AND NOT REMOVED UNTIL WORK IS PROPERLY COMPLETED IN A MANNER THAT IS STRUCTURALLY SOUND.
- REMOVE AND REPLACE ANY DAMAGED FRAMING WITHIN WALL LOCATIONS SHOWN TO REMAIN.
- COORDINATE EXISTING DOOR HARDWARE COMPONENTS THAT MAY REMAIN (ON EXISTING DOORS TO REMAIN) WITH OWNER AND WITH NEW HARDWARE SELECTIONS. REMOVE AND SALVAGE EXISTING DOOR HARDWARE COMPONENTS AS REQUIRED.
- MAINTAIN PORTABLE ABC FIRE EXTINGUISHERS AT THE JOB SITE. TRAIN ALL WORKERS ON USE AND CARE OF FIRE EXTINGUISHERS.
- ENSURE THAT EXITS PROVIDE FREE AND UNOBSTRUCTED EGRESS. ALL WORKERS SHALL RECEIVE TRAINING IF ALTERNATIVE OR TEMPORARY EXITS ARE DESIGNATED DURING DURATION OF PROJECT.
- ENSURE FREE AND UNOBSTRUCTED ACCESS TO EMERGENCY DEPARTMENTS OR SERVICES, AND TO EMERGENCY PERSONNEL.
- FIELD VERIFY EXISTING RATED CONSTRUCTION LOCATIONS. EXISTING RATINGS ARE TO BE MAINTAINED. PROPERLY PATCH/SEAL PENETRATIONS (NEW AND/OR EXISTING) IN RATED CONSTRUCTION AS REQUIRED TO MAINTAIN RATED PROTECTION.
- TEMPORARY LIGHTING DURING CONSTRUCTION SHALL MEET OSHA STANDARDS - 29 CFR PART 1926.56.
- SEE GENERAL NOTES ON SHEET G001 FOR ADDITIONAL INFORMATION.
- FIELD VERIFY THAT WALLS INDICATED TO BE REMOVED ARE NOT STRUCTURAL AND LOAD BEARING, OR CONTAIN HIDDEN CHASES OR UTILITIES PRIOR TO DEMOLITION.
- VERIFY ALL EXISTING CORRIDOR WALLS EXTEND TO DECK ABOVE AND ARE SEALED TO RESIST THE PASSAGE OF SMOKE AND GASES. FIELD VERIFY EXACT EXISTING CONDITIONS.
- CONTRACTOR ARE REQUIRED TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO DEMOLITION AND NOTIFY THE ARCHITECT OF ANY CONFLICTS OR OMISSIONS.
- WHERE EXISTING FLOORING IS SHOWN TO BE REMOVED, ALSO REMOVE ASSOCIATED BASE. REMOVE TILE SETTING MATERIAL, IF PRESENT, AND FLOAT FLOOR SMOOTH AS REQUIRED FOR NEW FLOORING.
- WHERE WALL OR FLOOR FINISH - FOR EXAMPLE, SWITCHES, PLUMBING, RECESSED SHELF UNITS - CUT AND REMOVE TILE NEATLY AROUND THE OPENING. REPLACE MISSING TILE WITH SALVAGED OR MATCHING TILE. SEE FINISH SCHEDULE WHERE EXISTING TILE IS SHOWN TO BE COATED. REPLACEMENT TILE IN THIS AREAS TO MATCH SIZE AND TEXTURE, BUT NOT COLOR.
- WHERE SCREWS OR OTHER FASTENERS ARE REMOVED, OR ANY DAMAGE TO WALL SURFACES, FILL HOLES FLUSH AND SMOOTH PER RECOMMENDATIONS OF PAINT MANUFACTURER.

DEMO KEY NOTES

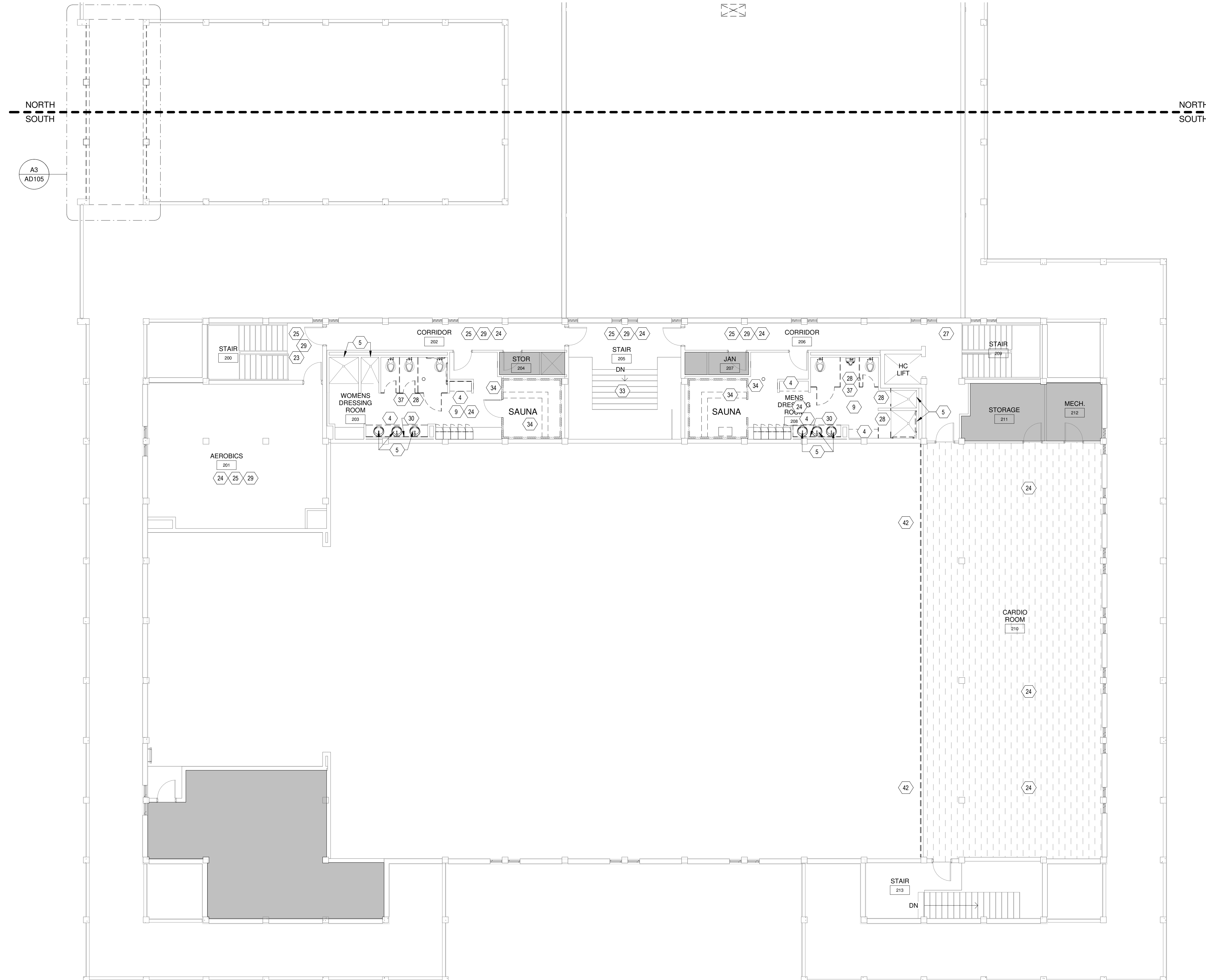
- DASH LINES INDICATE DEMO OF EXISTING WALL, DOOR, AND DOOR FRAME CONSTRUCTION. PATCH AND REPAIR ADJACENT COMPONENTS WHERE SPECIFICALLY NOTED.
- DEMOLISH DOOR, DOOR FRAME, AND HARDWARE.
- DEMOLISH STOREFRONT WINDOW AND DOOR.
- REMOVE CABINETS / MILLWORK
- DEMOLISH EXISTING PLUMBING FIXTURES, AND ASSOCIATED COMPONENTS WHERE SPECIFICALLY NOTED.
- DEMOLISH BASE AND/OR WALL CABINETS AND/OR COUNTERTOPS.
- REMOVE AND SALVAGE EXISTING WALL-MOUNTED EQUIPMENT AND TOILET ACCESSORIES. RETAIN.
- REMOVE EXISTING GYPSUM BOARD ON WALL CONSTRUCTION TO REMAIN AS REQUIRED TO INSTALL SOUND ATTENUATION INSULATION TO PROVIDE IDENTIFIED STC RATING.
- REMOVE EXISTING TILE ON WALLS AND FLOOR, PREP AREA AS REQUIRED TO RECEIVE NEW FINISH.
- REMOVE EXISTING WALL. INVESTIGATE AND PREP AREA FOR NEW 2-HOUR SHAFT WALL - NEW 2 HOUR SHAFT WALL TO BE AS CLOSE TO EXISTING WALL TO MAINTAIN EXISTING CHASE AND ALLOW FOR THE NEW CLEAN LINEN ROOM TO BE AS LARGE AS POSSIBLE. CONSULT WITH ARCHITECT BEFORE CONSTRUCTION OF NEW WALL.
- SALVAGE AND PROTECT SINK FOR REUSE
- REMOVE SHOWER SEAT
- EXISTING GRAB BARS TO REMAIN. VERIFY WITH OWNER.

DEMOLITION PLAN KEY NOTES AND LEGEND

- REMOVE EXISTING DOOR - PROTECT FOR REUSE. EXISTING FRAME TO REMAIN. INSTALL FILLER PLATES IN EXISTING FRAME HINGE PREPS AND STRIKE BOX. PREP FOR NEW STRIKE BOX AND NEW CONTINUOUS HINGE.
- LEAVE EXISTING TILE FLOORING AND WALLS WITH A "CLEAN STRAIGHT EDGE".
- REMOVE EXISTING WALL TILE IN THIS AREA, PATCH AND REPAIR FOR NEW WALL FINISH.
- REMOVE EXISTING DRYWALL ON ALL (4) FOUR WALLS UP TO 8'-0".
- REMOVE EXISTING TILE ON FLOOR AND WALLS. REMOVE ALL PLUMBING FIXTURES AND SHOWER / TOILET ACCESSORIES.
- REMOVE EXISTING CURB AND GUTTER.
- SAWCUT AND REMOVE EXISTING ASPHALT FOR LIMITS OF NEW ASPHALT CONSTRUCTION.
- DEMO EXISTING SIDEWALKS AND MASONRY COURTYARD STRUCTURES IN HATCHED AREA - EXCEPT AS NOTED.
- PROTECT EXISTING TREE IN COURTYARD
- EXISTING GYP. BD. CEILING - PROTECT
- DEMO EXISTING ACOUSTICAL LAY-IN CEILING TILES AND GRID. DEMO EXISTING CEILING LIGHT FIXTURES.
- REMOVE EXISTING FLOOR FINISH AND PREP FOR NEW FLOOR FINISH.
- DEMO EXISTING GYPSUM BOARD CEILING
- STRIP AND REMOVE EXISTING VARNISH FINISH FROM BRICK FLOORING ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- REMOVE EXISTING TOILET PARTITIONS IN THEIR ENTIRETY
- REMOVE EXISTING WALL BASE.
- REMOVE VANITY LIGHT FIXTURES AND MIRRORS.
- REMOVE AND REPLACE WALL HUNG SINK.
- REPAIR/REFURBISH WALL PANELS.
- REMOVE EXISTING STAIR TREADS AND RISERS.
- REPAIR/ REFURBISH SAUNA TEAK.
- REMOVE PAINT/PANELS FROM WINDOWS AND DOOR. REPAIR AS NEEDED.
- REMOVE EXISTING BEAD BOARD PANELS FROM WALL.
- REMOVE EXISTING TOILET ACCESSORIES.
- REMOVE PLUMBING FIXTURE, SALVAGE FOR REUSE.
- REMOVE DECALS FROM WINDOWS.
- EXISTING MASONRY PLANTER WALL TO REMAIN - PROTECT. PREP FOR NEW THORO COAT PAINT FINISH.
- ALL EXISTING TREES AND SHRUBS SHALL BE REMOVED IN THE COURTYARD - EXCEPT AS NOTED.
- REMOVE EXISTING GUARDRAIL. PATCH AND REPAIR AS NEEDED.
- DEMO EXISTING OVERHEAD FURR DOWN IN ITS ENTIRETY
- REMOVE EXISTING TEXTURE FROM CEILING TO CREATE A SMOOTH FINISH. PAINT.

PLAN LEGEND

- WALL AND ALL RELATED FIXTURES, CONDUIT, INSULATION, ETC. TO BE REMOVED
- DOOR AND FRAME TO BE REMOVED
- EXISTING STOREFRONT OR HOLLOW METAL FRAME TO BE REMOVED.
- EXISTING MILLWORK TO BE REMOVED.
- EXISTING TOILET TO BE REMOVED.
- EXISTING SINK TO BE REMOVED.



1 SECOND FLOOR - DEMOLITION - SOUTH
1/8" = 1'-0"



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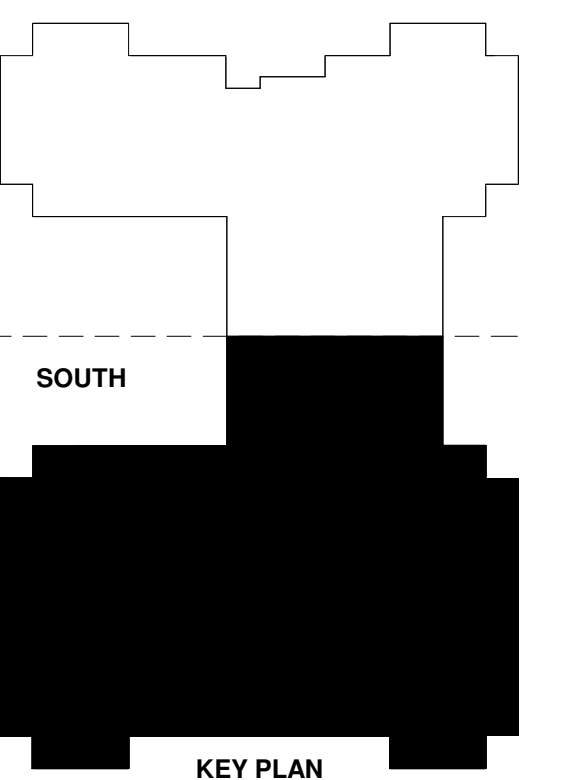
PROJECT NAME _____



SEAL _____

REVISIONS

NO.	DESCRIPTION	DATE



**SECOND FLOOR PLAN -
DEMOLITION SOUTH**

SHEET NAME _____

DATE 05/05/2024

PROJECT NUMBER 161423

SHEET NUMBER **AD104**