

DEMOLITION PLAN KEY NOTES AND LEGEND

DEMO KEY NOTES

1. DASH LINES INDICATE DEMO OF EXISTING WALL, DOOR, AND DOOR FRAME CONSTRUCTION. PATCH AND REPAIR ADJACENT
2. DEMOLISH DOOR, DOOR FRAME, AND HARDWARE.
3. DEMOLISH STOREFRONT WINDOW AND DOOR.
4. REMOVE CABINETS / MILLWORK
5. DEMOLISH EXISTING PLUMBING FIXTURES, AND ASSOCIATED COMPONENTS WHERE SPECIFICALLY NOTED.
6. DEMOLISH BASE AND/ OR WALL CABINETS AND/OR COUNTERTOPS.
7. REMOVE AND SALVAGE EXISTING WALL-MOUNTED EQUIPMENT AND TOILET ACCESSORIES. RETAIN.
8. REMOVE EXISTING GYPSUM BOARD ON WALL CONSTRUCTION TO REMAIN AS REQUIRED TO INSTALL SOUND ATTENUATION INSULATION TO PROVIDE IDENTIFIED STC RATING.
9. REMOVE EXISTING TILE ON WALLS AND FLOOR, PREP AREA AS REQUIRED TO RECEIVE NEW FINISH.
10. REMOVE EXISTING WALL. INVESTIGATE AND PREP AREA FOR NEW 2-HOUR SHAFT WALL - NEW 2 HOUR SHAFT WALL TO BE AS CLOSE TO EXISTING WALL TO MAINTAIN EXISTING CHASE AND ALLOW FOR THE NEW CLEAN LINEN ROOM TO BE AS LARGE AS POSSIBLE. CONSULT WITH ARCHITECT BEFORE CONSTRUCTION OF NEW WALL.
11. SALVAGE AND PROTECT SINK FOR REUSE
12. REMOVE SHOWER SEAT
13. EXISTING GRAB BARS TO REMAIN. VERIFY WITH OWNER.

14. REMOVE EXISTING DOOR - PROTECT FOR REUSE. EXISTING FRAME TO REMAIN. INSTALL FILLER PLATES IN EXISTING FRAME HINGE PREPS AND STRIKE BOX. PREP FOR NEW STRIKE BOX AND NEW CONTINUOUS HINGE.
15. LEAVE EXISTING TILE FLOORING AND WALLS WITH A "CLEAN STRAIGHT EDGE".
16. REMOVE EXISTING WALL TILE IN THIS AREA. PATCH AND REPAIR FOR NEW WALL FINISH.
17. REMOVE EXISTING DRYWALL ON ALL (4) FOUR WALLS UP TO 8'-0".
18. REMOVE EXISTING TILE ON FLOOR AND WALLS. REMOVE ALL PLUMBING FIXTURES AND SHOWER / TOILET ACCESSORIES.
19. REMOVE EXISTING CURB AND GUTTER .
20. SAWCUT AND REMOVE EXISTING ASPHALT FOR LIMITS OF NEW ASPHALT CONSTRUCTION.
21. DEMO EXISTING SIDEWALKS AND MASONRY COURTYARD STRUCTURES IN HATCHED AREA - EXCEPT AS NOTED.
22. PROTECT EXISTING TREE IN COURTYARD
23. EXISTING GYP. BD. CEILING - PROTECT
24. DEMO EXISTING ACOUSTICAL LAY-IN CEILING TILES AND GRID. DEMO EXISTING CEILING LIGHT FIXTURES.
25. REMOVE EXISTING FLOOR FINISH AND PREP FOR NEW FLOOR FINISH.

26. DEMO EXISTING GYPSUM BOARD CEILING
27. STRIP AND REMOVE EXISTING VARNISH FINISH FROM BRICK FLOORING ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
28. REMOVE EXISTING TOILET PARTITIONS IN THEIR ENTIRETY
29. REMOVE EXISTING WALL BASE.
30. REMOVE VANITY LIGHT FIXTURES AND MIRRORS.
31. REMOVE AND REPLACE WALL HUNG SINK.
32. REPAIR/REFURBISH WALL PANELS.
33. REMOVE EXISTING STAIR TREADS AND RISERS.
34. REPAIR/ REFURBISH SAUNA TEAK.
35. REMOVE PAINT/PANELS FROM WINDOWS AND DOOR. REPAIR AS NEEDED.
36. REMOVE EXISTING BEAD BOARD PANELS FROM WALL.
37. REMOVE EXISTING TOILET ACCESSORIES.
38. REMOVE PLUMBING FIXTURE, SALVAGE FOR REUSE.
39. REMOVE DECALS FROM WINDOWS.
40. EXISTING MASONRY PLANTER WALL TO REMAIN - PROTECT. PREP FOR NEW THORO COAT PAINT FINISH.

41. ALL EXISTING TREES AND SHRUBS SHALL BE REMOVED IN THE COURTYARD - EXCEPT AS NOTED.
42. REMOVE EXISTING GUARDRAIL. PATCH AND REPAIR AS NEEDED.
43. DEMO EXISTING OVERHEAD FURR DOWN IN ITS ENTIRETY
44. REMOVE EXISTING TEXTURE FROM CEILING TO CREATE A SMOOTH FINISH. PAINT.

PLAN LEGEND

- WALL AND ALL RELATED FIXTURES, CONDUIT, INSULATION, ETC. TO BE REMOVED
- DOOR AND FRAME TO BE REMOVED
- EXISTING STOREFRONT OR HOLLOW METAL FRAME TO BE REMOVED.
- EXISTING MILLWORK TO BE REMOVED.
- EXISTING TOILET TO BE REMOVED.
- EXISTING SINK TO BE REMOVED.

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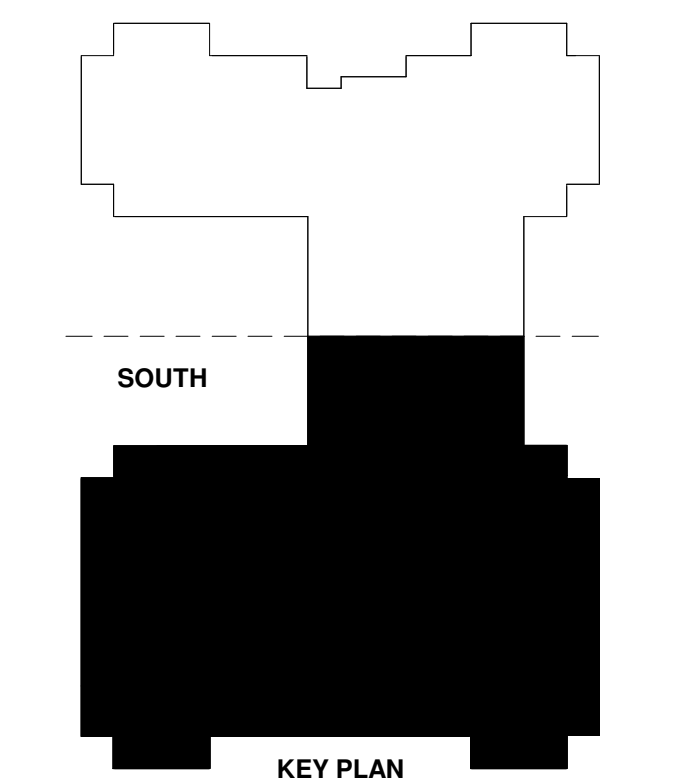
PROJECT NAME _____



SEAL _____

REVISIONS

NO.	DESCRIPTION	DATE



GROUND FLOOR PLAN -
DEMOLITION SOUTH

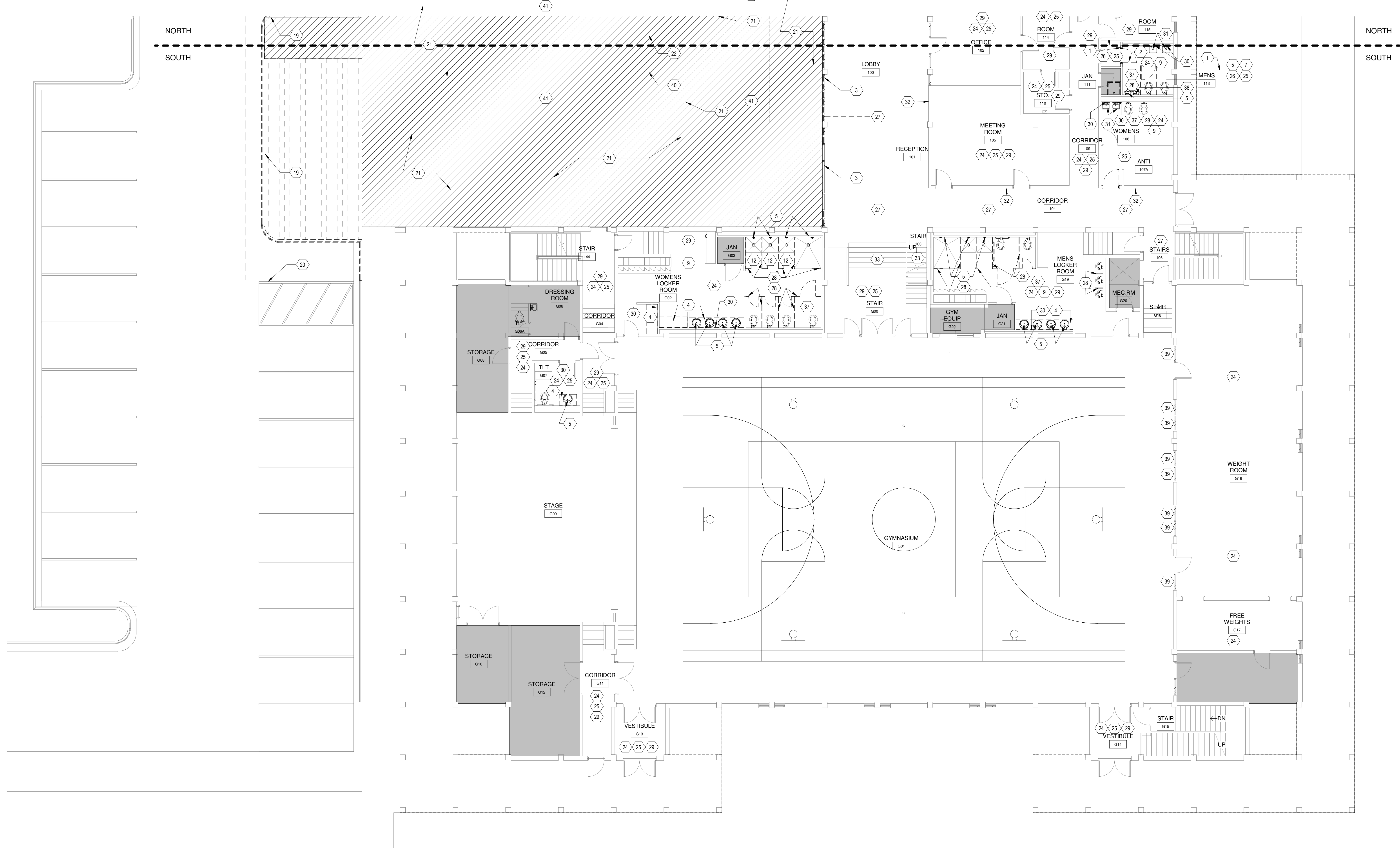
SHEET NAME _____

DATE 05/05/2024

PROJECT NUMBER 161423

AD102

SHEET NUMBER



1 GROUND FLOOR - DEMOLITION - SOUTH
1/8" = 1'-0"

