

NOTES

A. GENERAL CONSTRUCTION REQUIREMENTS:

- A1. ALL WORK SHALL BE DONE IN A SAFE AND WORKMANLIKE MANNER AND IN STRICT ACCORDANCE WITH GOVERNING BUILDING CODES, NATIONAL ELECTRIC CODE, AND ALL APPLICABLE REGULATIONS AND ORDINANCES HAVING JURISDICTION.
- A2. THE CONTRACTOR IS TO UNDERSTAND ALL DRAWINGS AND SPECIFICATIONS COMPLETELY. EACH ASPECT OF THE WORK MAY BE INDICATED IN ONE DISCIPLINE OR INDICATED IN MULTIPLE DISCIPLINES. REVIEW ALL INFORMATION FROM ALL DISCIPLINES AND COMPLETELY FIELD VERIFY ALL CONDITIONS BEFORE IMPACTING EXISTING CONDITIONS OR PROVIDING NEW WORK.
- A3. EACH SUBCONTRACTOR IS RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF ALL DRAWINGS AND SPECIFICATIONS IN THEIR RELATED FIELD. THE FAILURE TO DO SO DOES NOT RELIEVE ANY RESPONSIBILITY FOR PERFORMING THIS WORK PROPERLY. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED BECAUSE OF CONDITIONS THAT OCCUR DUE TO FAILURE TO FAMILIARIZE WORKERS WITH THIS KNOWLEDGE.
- A4. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO FABRICATION OF ALL ITEMS, AND IF ANY DISCREPANCIES ARE FOUND BETWEEN WHAT IS SHOWN ON THE PLANS AND WHAT EXISTS IN THE FIELD, CONTACT THE ARCHITECT TO DETERMINE THE PROPER COURSE OF ACTION. THE CONTRACTOR'S APPROVAL FOR FABRICATION INDICATES THE ACCEPTANCE OF EXISTING CONDITIONS.
- A5. THE OWNER SHALL OCCUPY PORTIONS OF THE FACILITY DURING CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER ALL CONSTRUCTION PROCEDURES WHICH WILL INTERFERE WITH THE NORMAL DAILY OPERATIONS OF THE FACILITY. THE CONTRACTOR SHALL OBTAIN PERMISSION FROM THE OWNER FOR ALL INTERRUPTIONS OF UTILITY SERVICES TO THE EXISTING BUILDING PRIOR TO THE INTERRUPTION. ACCIDENTAL INTERRUPTIONS SHALL BE REMEDIED IMMEDIATELY WITH APPROPRIATE FORCES.
- A6. THE EXISTING BUILDING SHALL BE PROTECTED AT ALL TIMES FROM MOISTURE, DUST AND DEBRIS. INSTALL DUST PARTITIONS AS REQUIRED AND/OR AS SHOWN TO KEEP THE EXISTING PREMISES FREE FROM DUST AND DEBRIS. PROVIDE BARRICADES SEPARATING THE PUBLIC FROM CONSTRUCTION ACTIVITY.
- A7. ANY DAMAGE TO THE OWNER'S/OWNER'S EMPLOYEES PROPERTY CAUSED BY THE CONSTRUCTION PROCESS SHALL BE REPAIRED/REPLACED AT NO COST TO THE OWNER OR OWNER'S EMPLOYEES.
- A8. THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF THE SECURITY SYSTEM OF THE EXISTING FACILITY AT ALL TIMES. THIS INCLUDES KEEPING THE FACILITY SECURE FROM PERSONS, ENVIRONMENTAL ELEMENTS, OR HAZARDS. THE CONTRACTOR SHALL OBTAIN PERMISSION FROM THE OWNER PRIOR TO THE MODIFICATION OF ANY SECURITY SYSTEM OR THE DISABLING OF SUCH.
- A9. THE CONTRACTOR SHALL KEEP THE CONSTRUCTION AREA FREE AND CLEAR OF DEBRIS. REMOVE TRASH AND DEBRIS FROM CONSTRUCTION AREA AND DO NOT ALLOW TO ACCUMULATE. NO FLAMMABLE MATERIALS/LIQUIDS MAY BE STORED IN THE EXISTING BUILDING OR THE EXPANSION DURING CONSTRUCTION. PROVIDE EXTINGUISHERS AS REQUIRED BY LOCAL AND STATE AUTHORITIES, UL LISTED 2A-20BC DRY CHEMICAL FIRE EXTINGUISHERS, ACCESSIBLE AT ALL TIMES WITHIN ALL CONSTRUCTION AREAS.
- A10. THE CONTRACTOR SHALL MAINTAIN THE REQUIRED NUMBER OF EXITS FROM THE FACILITY. MAINTAIN EXITS, EXIT SIGNS AND EMERGENCY LIGHTING AT ALL TIMES AS REQUIRED BY THE GOVERNING AUTHORITIES.
- A11. REMOVE ANY EXISTING ITEMS, SERVICES, FINISHES/OR SURFACES AS REQUIRED FOR THE INSTALLATION OF NEW CONSTRUCTION.
- A12. REPAIR, RE-ROUTE AND EXTEND ALL SERVICES, PIPING, CONDUIT OF EXISTING ITEMS AND EQUIPMENT AS REQUIRED DURING THE CONSTRUCTION PROCESS FOR THE COMPLETE INSTALLATION AND OPERATIONS OF NEW EQUIPMENT. THIS INCLUDES ALL ITEMS SHOWN OR NOT SHOWN ON THE DRAWINGS. RESET EXISTING EQUIPMENT OR RELATED ITEMS AS REQUIRED FOR PROPER OPERATION.
- A13. PATCH, REPAIR, AND REFINISH CONSTRUCTION AT INTERFACE OF NEW AND EXISTING FINISHES. FINISH NEW SURFACES AT INTERFACE TO MATCH EXISTING.
- A14. ALL QUESTIONS RELATING TO THE CONSTRUCTION OF THIS PROJECT SHALL BE DONE IN WRITTEN FORM USING THE "REQUEST FOR INFORMATION" FORM, INCLUDED IN THE SPECIFICATIONS, THROUGH THE GENERAL CONTRACTOR ONLY. FOLLOW INSTRUCTIONS WHEN COMPLETING AND SENDING THIS FORM.

B. GENERAL SITE VERIFICATION REQUIREMENTS:

- B1. EXISTING CONDITIONS SHOWN IN THESE PLANS ARE BASED ON LIMITED FIELD OBSERVATIONS BY THE ARCHITECT AND ORIGINAL DESIGN DRAWINGS. ALL EXISTING MATERIAL, DIMENSIONS, ELEVATIONS, AND GENERAL CONDITIONS OF THE BUILDING SHALL BE VERIFIED BEFORE PURCHASE OF MATERIAL AND CONSTRUCTION. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN PLANS AND FIELD CONDITIONS IMMEDIATELY.
- B2. ALL UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES (WHETHER SHOWN OR NOT) PRIOR TO THE SUBMISSION OF HIS BID OR THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF THE DISCOVERY OF EXISTING UTILITIES NOT SHOWN OR NOTED ON DRAWINGS. THE CONTRACTOR SHALL VERIFY EXACT LOCATIONS AND DEPTHS OF UNDERGROUND UTILITY SERVICES PRIOR TO ANY EXCAVATION.

C. GENERAL FLOOR PLAN NOTES:

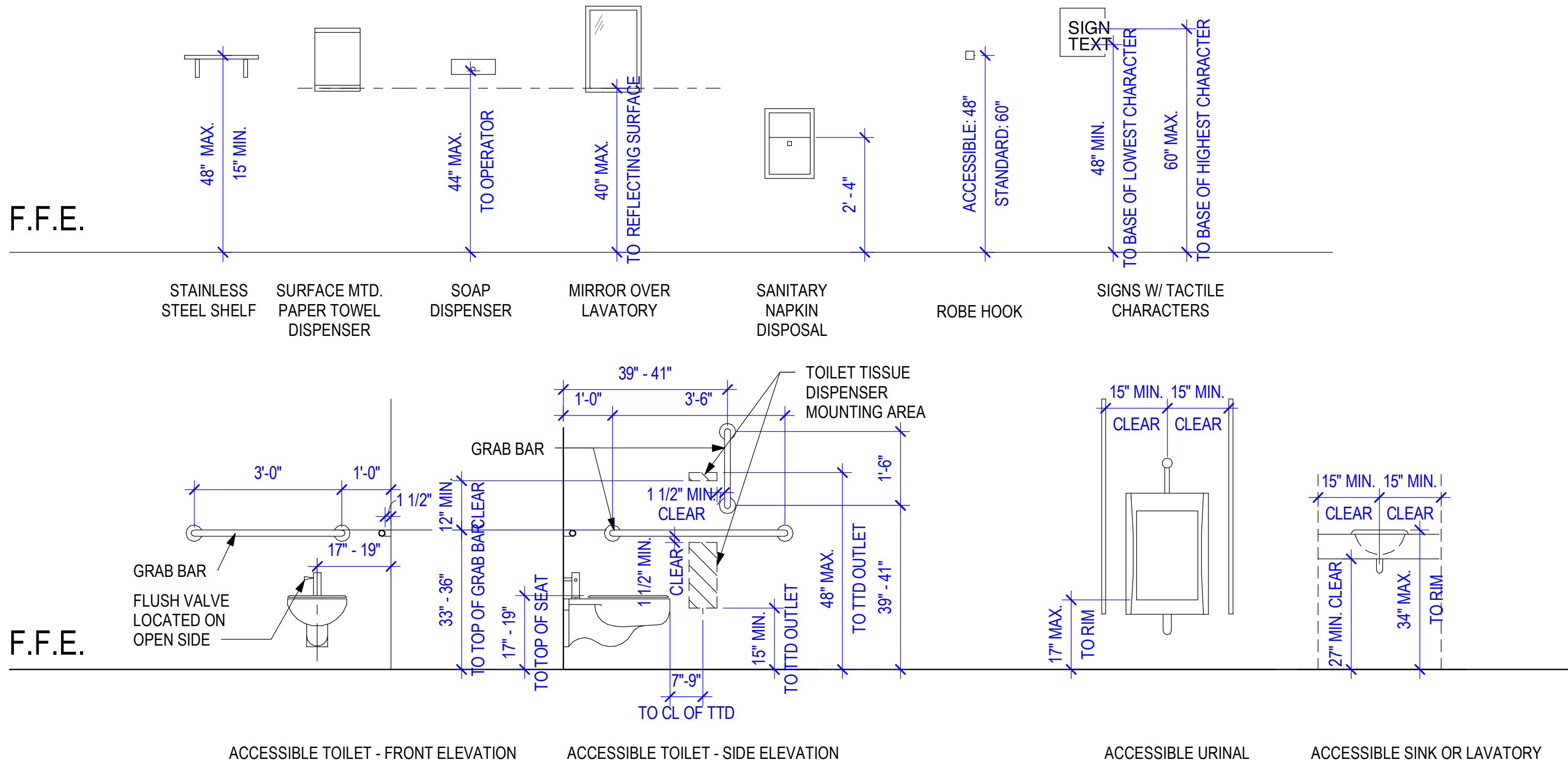
- REFER TO ARCH PLAN SHEETS
- C1. ALL DIMENSIONS ARE TO FACE OF FINISH OR GIRT UNLESS NOTED OTHERWISE.
- C2. CLEAN, PATCH AND REPAIR EXISTING WALL SURFACES SCHEDULED TO BE REFINISHED. ALL EXISTING GYPSUM BOARD SURFACES, WHICH ARE DAMAGED IN ANY WAY SHALL BE REPAIRED PRIOR TO THE APPLICATION OF SCHEDULED WALL.
- C3. ALL NEW FLOORING SHALL BE PROTECTED FROM SCRATCHING, MARKING, STAINING, ETC. DURING CONSTRUCTION. ANY FLOORING THAT IS DAMAGED BY CONSTRUCTION AND DOES NOT APPEAR IN NEW CONDITION AT THE TIME OF POSSESSION WILL BE REPLACED BY THE GENERAL CONTRACTOR AT HIS EXPENSE. INSTALL TRANSITION STRIP WHERE FLOORING ABUTS EXPOSED CONCRETE FLOOR.
- C4. CLEAN ALL EXISTING HVAC GRILLES WHICH REMAIN, PRIOR TO CONTRACT COMPLETION.

D. GENERAL DEMOLITION REQUIREMENTS:

- REFER TO ARCH DEMO SHEETS
- D1. ALL DEMOLITION SHALL BE CARRIED OUT IN A SAFE MANNER AND IN STRICT ACCORDANCE WITH OSHA REGULATIONS.
- D2. THE CONTRACTOR SHALL FIELD VERIFY THE EXTENT OF DEMOLITION. THE WORK INCLUDES, BUT IS NOT LIMITED TO, THE DEMOLITION AND REMOVAL OF WALLS, CEILINGS, ROOFING, DOORS, FIXTURES, PLUMBING, MECHANICAL AND ELECTRICAL ITEMS INCLUDING CONDUITS AND DUCTWORK AS SHOWN ON DRAWING OR AS REQUIRED FOR THE INSTALLATION OF THE NEW WORK FOR A COMPLETE JOB. THE CONTRACTOR SHALL REPLACE ANY/ALL FLOOR, WALL, OR CEILING FINISHES DAMAGED AS A RESULT OF DEMOLITION. MATCH EXISTING ADJACENT FINISHES.
- D3. WHEN UTILITIES ARE REMOVED, CAP AND SEAL A MINIMUM OF 8" BELOW FINISH FLOOR OR A MINIMUM OF 6" ABOVE FINISH CEILING.
- D4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ADEQUATE SHORING, BRACING AND SUPPORT SYSTEMS FOR EXISTING STRUCTURE AND TO KEEP THE EXISTING STRUCTURE INTACT AND IN A SAFE CONDITION DURING DEMOLITION AND NEW CONSTRUCTION. THE CONTRACTOR SHALL RETAIN A REGISTERED PROFESSIONAL ENGINEER TO DESIGN THE SHORING OR BRACING AND SPECIFY DEMOLITION PROCEDURES. IT IS THE CONTRACTOR'S RESPONSIBILITY FOR MEANS AND METHODS OF DEMOLITION AND NEW CONSTRUCTION.
- D5. DURING DEMOLITION AND RECONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE OWNER ANY REQUIRED SAFETY BARRIERS OR BARRICADES. PROVIDE BARRICADES SO AS TO PRECLUDE INTRUSION OF PUBLIC INTO CONSTRUCTION AREAS.
- D6. REFER TO THE OWNER APPROVED CONSTRUCTION PHASING SCHEDULE FOR PHASING OF DEMOLITION AND NEW CONSTRUCTION. COORDINATE DEMOLITION WITH NEW CONSTRUCTION IN ORDER THAT THE FACILITY WILL HAVE UNINTERRUPTED WATER, SEWER, ELECTRICAL, GAS AND FIRE PROTECTION SERVICE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING ALL NECESSARY TEMPORARY UTILITY PROVISIONS REQUIRED.
- D7. ALL DEMOLITION MATERIALS NOT SALVAGED BY THE OWNER SHALL BE REMOVED BY THE CONTRACTOR. COORDINATE WITH THE OWNER REGARDING MATERIALS TO BE SALVAGED BY THE OWNER. REFER ALSO TO DRAWINGS AND SPECIFICATIONS FOR SALVAGED ITEMS.
- D8. REMOVE EXISTING RESILIENT FLOORING SYSTEM AT EXISTING BUILDING FLOOR AREAS AND REPAIR CONCRETE SUBSTRATE FOR NEW FLOORING SYSTEM.
- D9. REFER TO MECHANICAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL DRAWINGS FOR NECESSARY FLOOR SLAB DEMOLITION FOR THE INSTALLATION OF NEW PIPING OR CONDUITS.
- D10. THE CONTRACTOR SHALL USE A WET SAW FOR SLAB SAWING. NO JACK HAMMERS WILL BE ALLOWED WITHOUT PRIOR APPROVAL FROM THE OWNER. REMOVE EXISTING CERAMIC TILE/QUARRY TILE AT AREAS TO RECEIVE NEW FLOOR FINISH. PREPARE CONCRETE SUBSTRATE, CEMENT GROUT INFILL DEPRESSED AREAS. FLUSH AND LEVEL FOR NEW FLOOR FINISH FOR SMOOTH TRANSITION TO ADJACENT FLOOR AREAS.
- D11. PROTECT ALL WATER PIPING AT AREAS OF DEMOLITION, EXPANSION AND REMODEL, WHERE EXISTING PIPING IS SUBJECT TO FREEZING. PROTECT PIPING SO AS NOT TO FREEZE.

GENERAL PARTITIONS NOTES:

1. SEE ENLARGED DIMENSION FLOOR PLANS FOR PARTITION TYPES.
2. AT PARTITIONS WITH ACOUSTICAL TREATMENT SEAL TOP AND BOTTOM TRACK WITH ACOUSICAL SEALANT.
3. WHERE RATED PARTITIONS EXTEND TO STRUCTURE ABOVE SEAL THE INTERSECTIONS WITH A UL RATED FIRE STOP SYSTEM.
4. GYPSUM BOARD AT ALL TOILETS, CUSTODIAL ROOMS SHALL BE WATER RESISTANT. TYPICAL GYPSUM BOARD BEHIND ALL CABINETS AT SINKS AND ICEMAKERS SHALL BE WATER RESISTANT TO A HEIGHT OF 48" AFF FOR AT LEAST 3'-0" ON EACH SIDE OF THE FIXTURE.
5. METAL STUDS FOR INTERIOR PARTITIONS SHALL BE SIZED AS INDICATED BELOW UNLESS NOTED OTHERWISE:
- | UNBRACED HEIGHT | MIN. METAL STUD SIZE & SPACING |
|----------------------------|---------------------------------|
| LESS THAN 10'-0" TO 15'-0" | 20 GA. 3 5/8" OR 6" AT 16" O.C. |
| 15'-0" TO 20'-0" | 18 GA. 6" AT 16" O.C. |
| GREATER THAN 20'-0" | 18 GA. 6" AT 12" O.C. |
6. INSTALL GYP. BD. BY VERITCAL INSTALLATION METHOD TO MINIMIZE BUTT-JOINTS OF SHEETS.
7. PROVIDE CONTROL JOINTS IN PARTITION AT 30'-0" MAX.
8. ABOVE CEILING, ENSURE ALL GYP. BD. JOINTS ARE STAGGERED AND TAPED AND NAIL/SCREW HOLES ARE FILLED WITH JOINT COMPOUND.
9. PROVIDE A 3/8" GAP BETWEEN THE GYPSUM BOARD AND THE FLOOR OR ADJACENT WALLS AND INSTALL NON-HARDENEING, HIGHT DENSITY ACOUSTICAL CAULK OR SEALANT IN THE GAP.
10. OFFSET ELECTRICAL OR COMMUNICATIONS OUTLET BOXES BY AT LEAST ONE STUD SPACE. ALL OPENINGS IN THE SIDE OR BACKS OF THE BOXES AND JOINTS BETWEEN THE BOXES OR THE WALLBOARD MUST BE SEALED WITH ACOUSTICAL SEALANT.
11. ISOLATED PLUMBING FROM FRAMING ELEMENTS AND WALLBOARD. SEAL ALL PENETRATIONS OF WALLBOARD WITH ACOUSTICAL SEALANT.
12. ABOVE CEILING, ENSURE ALL GYP. BD. JOINTS ARE STAGGERED AND TAPED AND NAIL/SCREW HOLES ARE FILLED WITH JOINT COMPOUND.
13. SEAL TOP OF PARTITIONS WITH ACOUSTIC CAULK TIGHT TO DECK ABOVE.



MISC. MOUNTING HEIGHTS

Project **AEROJET BUILDING E33**
OFFICE EXPANSION
EAST CAMDEN, ARKANSAS

Design Phase

CONSTRUCTION DOCUMENTS

Revisions		
No.	Date	Description

Stamp

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C-98
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