

MANA HEALTH OFFICES

3730 S. PINNACLE HILLS PARKWAY, ROGERS, AR

GENERAL NOTES TO CONTRACTOR

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
- EXISTING GRADE CONTOURS ARE AT ONE FOOT INTERVALS.
- PROPOSED CONTOURS ARE AT FINISH GRADE AND ARE AT ONE FOOT INTERVALS.
- PROPOSED SPOT ELEVATIONS ARE TOP OF FINISH CURB UNLESS OTHERWISE INDICATED OR SHOWN.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- CONTRACTOR TO INSTALL MUD ABATEMENT ENTRANCES ANYWHERE PROPOSED STREETS ENTER EXISTING PUBLIC STREETS. ENTRANCE TO BE CONSTRUCTED A MIN. OF 50' IN LENGTH BY WIDTH OF PROPOSED STREET AND TO A DEPTH OF 8' INCHES.
- CONTRACTOR TO INSTALL EROSION CONTROL FENCING PRIOR TO BEGINNING ANY CONSTRUCTION. FENCING SHALL BE MAINTAINED & REPAIRED AS NECESSARY BY THE CONTRACTOR DURING CONSTRUCTION.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- ALL CONCRETE TO HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 3500 PSI.
- DAMAGE DURING CONSTRUCTION TO ANY EXISTING STRUCTURES TO REMAIN SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE.
- ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH THE CITY OF ROGERS'S REQUIREMENTS. IN THE CASE OF CONFLICTS, THE CITY'S CRITERIA SHALL GOVERN.
- ALL SIDEWALKS AND HANDICAP RAMPS SHALL BE BUILT TO THE CURRENT STANDARDS OF THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS.
- WHERE PUBLIC STREETS END FOR FUTURE STUB OUTS INSTALL MUTCD CLASS 3 BARRICADE WITH 'FUTURE STREET EXTENSION' SIGN CENTERED AT THE END OF THE RIGHT-OF-WAY.
- WHERE PUBLIC SIDEWALKS, TRAILS, OR SIDEWALKS END, INCLUDE 'SIDEWALK ENDS' SIGN.
- PUBLIC STREETS SHALL HAVE 20 FT. OF DRIVEABLE SURFACE FOR TWO-WAY TRAFFIC. THIS DOES NOT INCLUDE THE CURB AND GUTTER AND IS MEASURED FROM EDGE OF ASPHALT TO EDGE OF ASPHALT.
- ACCORDING TO CITY CODE, IT SHALL BE UNLAWFUL FOR ANY PERSON, FIRM OR CORPORATION TO OCCUPY THE IMPROVEMENTS MADE PURSUANT TO THE APPROVED LARGE-SCALE DEVELOPMENT PLAN WITHOUT FIRST OBTAINING A CERTIFICATE OF OCCUPANCY. FAILURE TO OBTAIN A CERTIFICATE OF OCCUPANCY SHALL BE A MISDEMEANOR PUNISHABLE BY A FINE NOT TO EXCEED \$250 PER DAY THAT SAID VIOLATION EXISTS.
- IT IS THE RESPONSIBILITY OF THE ENGINEER OF RECORD TO INCLUDE ALL ITEMS REQUIRED BY ORDINANCE. IF APPROVED PLANS CONFLICT WITH ORDINANCE REQUIREMENTS, THE ORDINANCE TAKES PRECEDENCE UNLESS A WAIVER OR VARIANCE HAS BEEN GRANTED.
- STOCKPILES WITH EXCESS CONSTRUCTION SITE MATERIALS, INCLUDING BUT NOT LIMITED TO EXCESS TOP SOIL STOCKPILES, MUST BE REMOVED FROM SITE PRIOR TO PROJECT COMPLETION. GRADING BEYOND THE APPROVED LIMITS IS PROHIBITED.
- CHANNELS, DETENTION PONDS, RETENTION PONDS, SEDIMENT BASINS, ETC. REQUIRE SOD TO THE 100-YEAR WATER SURFACE ELEVATION WITHIN 2 WEEKS(14 DAYS) AFTER THE POND IS BUILT, AND MUST BE INSTALLED AT THE BEGINNING OF THE PROJECT WHERE FEASIBLE.

STANDARD CITY COMMENTS

- DRAINAGE IMPROVEMENTS MUST BE COMPLETED AND CERTIFIED BY THE ENGINEER OF RECORD, BATES & ASSOCIATES, WITH ALL DITCHES AND BASINS SOLID-SODDED, CONCRETE-LINED, OR UNDERGROUND CONDUIT INSTALLED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. EROSION CONTROL METHODS MUST BE USED DURING CONSTRUCTION.
- THE DEVELOPER MUST OBTAIN AN OFF-SITE DRAINAGE EASEMENT FOR ALL AREAS OF DISCHARGE PRIOR TO THE FIRST INSPECTION BY THE ROGERS STREET DEPARTMENT.
- THE ENTIRE FACILITY MUST COMPLY WITH THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT OF 1990.
- PROVIDE THE CITY PLANNER WITH A COPY OF THE APPROVAL FROM AHJO TO DISCHARGE STORM WATER INTO THEIR SYSTEM PRIOR TO THE FIRST INSPECTION BY THE ROGERS STREET DEPARTMENT.
- THE CITY OF ROGERS WILL NOT BE RESPONSIBLE FOR MAINTENANCE OF ANY DETENTION POND.
- ENGINEER TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ROGERS PLANNING DEPARTMENT PRIOR TO ISSUANCE OF A GRADING PERMIT. ALL PHASE 1 EROSION CONTROL MUST BE INSTALLED PRIOR TO THE PRE-CONSTRUCTION MEETING AND A REDUCED SET OF CONSTRUCTION PLANS (11' X 17") WILL BE REQUIRED.
- THE PERSON FINANCIALLY RESPONSIBLE FOR THE PROJECT MUST OBTAIN A GRADING PERMIT INCLUDING A COPY OF THE NOI, A COPY OF THE STORMWATER POLLUTION PREVENTION PLAN, AND A COPY OF THE GRADING AND EROSION CONTROL PLAN.
- A GRADING PERMIT WILL NOT BE ISSUED UNTIL THE PLANNING COMMISSION HAS APPROVED THIS LARGE SCALE DEVELOPMENT PLAN. PERMIT REQUIREMENTS ARE AVAILABLE AT THE PLANNING OFFICE.
- IF MORE THAN SEVEN (7) SIGNIFICANT TREES ARE TO BE REMOVED, THE DEVELOPER MUST SUBMIT A TREE PROTECTION OR REPLACEMENT PLAN. THE REPLACEMENT PLAN MUST SHOW 1 TREE FOR EVERY 5 TREES REMOVED IN THE DISTURBED AREA. TREES FROM A NON-CONSTRUCTION AREA MUST BE REPLACED AT 1 TREES FOR EVERY 1 TREE REMOVED.
- A PERIMETER BUFFER STRIP SHALL BE TEMPORARILY MAINTAINED AROUND THE DISTURBED AREA. THE MINIMUM WIDTH FOR THE BUFFER STRIP IS 25' WITH A MAXIMUM WIDTH OF 40'.
- PROVIDE A SOIL REPORT SIGNED AND SEALED BY A PROFESSIONAL ENGINEER TO BE INCLUDED WITH THE BUILDING PERMIT APPLICATION.
- PROVIDE THE BUILDING OWNER WITH COMPACTION TESTS FOR ALL PONDS AND FILL AREAS.
- THE OWNER/DEVELOPER WILL BE RESPONSIBLE FOR ANY UPSTREAM OR DOWNSTREAM FLOODING AS A DIRECT RESULT OF THIS DEVELOPMENT.
- LANDSCAPING MUST BE INSTALLED AND A THREE-YEAR GUARANTEE SUBMITTED ON PLANT REPLACEMENT OR A LETTER OF CREDIT POSTED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. MINIMUM SIZE OF SHRUBS IS FIVE GALLONS, FOR SHADE TREES IT IS 2 1/2" B & B, AND FOR ORNAMENTAL TREES IT IS 1 1/2" B & B.
- IT IS THE OWNERS RESPONSIBILITY TO COORDINATE WITH THE UTILITIES REGARDING PLANTS IN THE UTILITY EASEMENT.
- TREES ARE REQUIRED IN THE FRONT LANDSCAPE BUFFER NOT LESS THAN 20 FEET APART.
- SIDEWALKS MUST BE 5 FEET IN WIDTH AND RAMPED AT ALL CURB CUTS TO MEET ADA AND AHJO SPECIFICATIONS AND INSTALLED THE FULL WIDTH OF THE PROPERTY OR A LETTER OF CREDIT POSTED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. SIDEWALKS MUST MATCH ANY EXISTING SIDEWALKS IN THE AREA. INCLUDE TRUNCATED DOMES AT THE HANDICAP RAMPS AND BE LOCATED A MIN. OF 5 FEET BEHIND THE CURB. TWO HANDICAP RAMPS ARE REQUIRED AT EACH STREET RADIUS FOR ANY STREET THAT IS A COLLECTOR AND ABOVE.
- ALL PARKING LOTS AND DRIVES MUST BE HARD SURFACED.
- THE PROPOSED TRASH DUMPSTER MUST BE SCREENED WITH A SOLID-TYPE SCREENING CONSISTENT WITH THE ARCHITECTURAL STYLE OF THE BUILDING.
- ALL WATER AND SEWER PLANS MUST BE APPROVED BY THE ROGERS WATER UTILITY DEPARTMENT PRIOR TO CONSTRUCTION. THIS IS A SEPARATE REVIEW PROCESS AND A PRE-CONSTRUCTION MEETING WILL BE REQUIRED.
- ALL SIGNS WILL REQUIRE SEPARATE PERMITS.
- A PRE-CONSTRUCTION MEETING WITH THE ROGERS BUILDING DEPARTMENT IS REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- THE ENTIRE DEVELOPMENT MUST COMPLY WITH THE REQUIREMENTS OF THE ROGERS OVERLAY DISTRICT.
- ALL WELLS AND SEPTIC SYSTEMS MUST BE LOCATED AND ABANDONED BY A STATE-LICENSED AND BONDED DRILLER IN ACCORDANCE WITH STATE REQUIREMENTS.
- CONSTRUCTION DEBRIS MUST BE CLEARED FROM ALL STORMWATER STRUCTURES AND VERIFIED BY A SITE INSPECTION FROM THE PLANNING DEPARTMENT PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ALL MECHANICAL, ELECTRICAL AND AIR CONDITIONING EQUIPMENT MUST BE SCREENED FROM PUBLIC VIEW.
- ACCORDING TO CITY CODE, IT SHALL BE UNLAWFUL FOR ANY PERSON, FIRM OR CORPORATION TO OCCUPY THE IMPROVEMENTS MADE PURSUANT TO THE APPROVED LARGE-SCALE DEVELOPMENT PLAN WITHOUT FIRST OBTAINING A CERTIFICATE OF OCCUPANCY. FAILURE TO OBTAIN A CERTIFICATE OF OCCUPANCY SHALL BE A MISDEMEANOR PUNISHABLE BY A FINE NOT TO EXCEED \$250 PER DAY THAT SAID VIOLATION EXISTS.
- PROVIDE THE CITY PLANNER A COMPACT DISK WITH THE AS-BUILT PLANS REFERENCING 2 GPS POINTS TIED TO THE ROGERS MONUMENT SYSTEM AND FORMATTED IN BOTH AUTOCAD 2010 .DWG AND A PDF DOCUMENT PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- THE DEVELOPMENT PLAN APPROVAL LAPSES AND HAS NO FURTHER EFFECT IF GRADING OR CONSTRUCTION PERMITS ARE NOT OBTAINED AND WORK AUTHORIZED BY SUCH PERMITS HAS NOT COMMENCED WITHIN ONE YEAR OF THE DATE OF APPROVAL.
- APPROVED PUBLIC IMPROVEMENT PLANS SHALL LAPSE ONE YEAR FROM THE DATE OF APPROVAL UNLESS PERMITS HAVE BEEN ISSUED AND WORK HAS COMMENCED AND BEEN DILIGENTLY PURSUED.



BASIS OF BEARING:
GPS OBSERVATION - AR NORTH ZONE
NAD83(2011) HORIZONTAL DATUM

VICINITY MAP
N.T.S.
NORTH

BASIS OF ELEVATION:
ON-SITE NETWORK GPS OBSERVATION
NAVD88 VERTICAL DATUM

LARGE SCALE DEVELOPMENT

SURVEY DESCRIPTION:
LOTS 3A AND 4 OF PINNACLE HILLS OFFICE PARK SUBDIVISION TO THE CITY OF ROGERS, BENTON COUNTY, ARKANSAS AS SHOWN PER PLAT OF SURVEY FILED IN BOOK 2017 AT PAGE 451 IN THE OFFICE OF THE CIRCUIT CLERK AND EX-OFFICIO RECORDER OF BENTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 4 AND RUNNING THENCE N03°03'09"E 304.52', THENCE S86°56'52"E 53.80', THENCE S83°30'51"E 100.18', THENCE S86°56'52"E 148.03' TO THE WEST RIGHT-OF-WAY PINNACLE HILLS PARKWAY, THENCE ALONG SAID RIGHT-OF-WAY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 557.79' FOR A CHORD BEARING AND DISTANCE OF S23°31'11"E 169.36', THENCE CONTINUING ALONG SAID RIGHT-OF-WAY ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 15.00' FOR A CHORD BEARING AND DISTANCE OF S10°41'13"W 20.41' TO THE WESTERLY RIGHT-OF-WAY OF SOUTH CHAMPIONS DRIVE, THENCE ALONG SAID RIGHT-OF-WAY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 235.75' FOR A CHORD BEARING AND DISTANCE OF S32°37'54"W 143.03', THENCE LEAVING SAID RIGHT-OF-WAY N87°24'15"W 304.28' TO THE POINT OF BEGINNING, CONTAINING 2.31 ACRES, MORE OR LESS. SUBJECT TO ALL EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

- REFERENCE DOCUMENTS:**
- FINAL PLAT OF PINNACLE HILLS OFFICE PARK FILED IN BOOK 2014 AT PAGE 422
 - PLAT OF SURVEY FILED IN BOOK 2014 AT PAGE 664
 - PLAT OF SURVEY FILED IN BOOK 2016 AT PAGE 142
 - PLAT OF SURVEY FILED IN BOOK 2017 AT PAGE 451
 - PLAT OF SURVEY FILED IN BOOK L2018 AT PAGE 01168
 - PLAT OF SURVEY FILED IN BOOK L2018 AT PAGE 23391

CITY OF ROGERS CONTACT INFORMATION

| | | | |
|---------------|---|-------------------------|--|
| CITY: | CITY OF ROGERS DEPARTMENT OF COMMUNITY DEVELOPMENT LORI ERICSON PHONE: (479) 621-1186 | SEWER/ WATER | ROGERS WATER UTILITIES 601 S 2ND ST P.O. BOX 338 ROGERS, AR 72756 479-621-1142 |
| FIRE: | ROGERS FIRE DEPARTMENT, 201 N 1ST ST ROGERS, AR 72956 PHONE: (479) 621-1179 | SOLID WASTE | INLAND SERVICES 3511 N. ARKANSAS ST ROGERS, AR 72756 (479) 878-1384 |
| GAS: | SOURCE GAS 655 E. MILLSAP DRIVE FAYETTEVILLE, AR 72703 PHONE: (800) 563-0012 | ELECTRIC: | CARROLL ELECTRIC 707 SE WALTON BLVD P.O. BOX 329 BENTONVILLE, AR 72712-0329 PHONE: (479) 273-2421 FAX: (479) 273-1231 |
| CABLE: | COX COMMUNICATIONS 115 N. DIXIELAND STE. 3 ROGERS, AR 72756 PHONE: (479) 273-5644 | TELEPHONE: | SOUTHWESTERN BELL 1-800-464-7928 |

INDEX OF DRAWINGS

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CITY PROJECT NUMBER: SDP25-0660
PARCEL NUMBERS: 02-22772-000 & 02-22773-000
PROJECT SITE ADDRESS: 3730 S. PINNACLE HILLS PARKWAY
ROGERS, AR 72758
ZONING CLASSIFICATION: T5.2 - TOWN CENTER MEDIUM
PROPOSED USE: PROFESSIONAL OFFICES - BUILDING ADDITION
TOTAL SITE AREA: 2.31 ACRES +/-
OWNER: PHX LLC
1701 CENTERVIEW DR. SUITE 102
LITTLE ROCK, AR 72211-4311
DEVELOPER: MANA HEALTH
3660 CEDARCREST ROAD
ACWORTH, GEORGIA 30101
ENGINEER/SURVEYOR: BATES & ASSOCIATES, INC.
7230 PLEASANT RIDGE DR.
FAYETTEVILLE, AR 72704
PHONE: (479) 442-9350
FAX: (479) 521-9350

ZONE STANDARDS PER T5.2 ZONING
MAX BUILDING COVERAGE: 100%
MAX IMPERVIOUS SURFACE: 100%
MIN EXTERIOR YARD: 0
MAX EXTERIOR YARD: 10
MIN OCCUPANCY: 80%
MIN INTERIOR YARD: 0
MAX INTERIOR YARD(ALLEYSIDE): 0
MAX BUILDING HEIGHT(STORIES): 6

AREA CALCULATIONS
TOTAL AREA: 100,623.67 FT² (2.31 AC±)
EXISTING IMPERVIOUS AREA: 65,145.80 FT² (1.50 AC±)
PROPOSED IMPERVIOUS AREA: 70,700.43 FT² (1.62 AC±)
TOTAL IMPERVIOUS % = 70.3% OF TOTAL AREA

ADDED IMPERVIOUS AREA
OUTSIDE OF RW & BUILDING FOOTPRINTS: 4030.20 FT²

BUILDING HEIGHT ABOVE GRADE
BUILDING HEIGHT: 26'-9 9/16" TO HIGHEST POINT
HEIGHT IN STORIES: 1 STORY

PARKING TABLE:

EXISTING BUILDING AREA: 14,304 FT²
EXISTING STANDARD PARKING ON-SITE: 90 SPACES
EXISTING ADA SPACES ON SITE: 4 SPACES
DEMOED SPACES PER THIS DEVELOPMENT: 8 STANDARD SPACES
TOTAL SPACES AFTER DEMO: 86 TOTAL SPACES
PROPOSED BUILDING ADDITION AREA: 4300 FT²
PROPOSED PARKING SPACES: 8 SPACES
TOTAL PARKING POST DEVELOPMENT: 94 SPACES

SURVEYOR NOTES:

- ENVIRONMENTAL AND SUBSURFACE CONDITIONS WERE NOT EXAMINED AS A PART OF THIS SURVEY.
- SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, TITLE EVIDENCE, OWNERSHIP, OR ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE. ONLY THOSE EASEMENTS SHOWN ON THE RECORD PLAT OF PINNACLE HILLS PARKWAY ADDITION ARE SHOWN HEREON.
- THE LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES, RECORD DRAWINGS PROVIDED TO THE SURVEYOR. NOT ALL UNDERGROUND UTILITIES/STRUCTURES MAY BE SHOWN. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE UNDERGROUND UTILITIES/STRUCTURES. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON.
- ALL UTILITIES SHOWN HEREON ARE FROM OBSERVED EVIDENCE. CONTRACTOR SHOULD FIELD VERIFY ALL UTILITY LINES PRIOR TO ANY EXCAVATION ON THIS SITE.

WETLANDS
THERE ARE NO EXISTING WETLANDS ON THIS SITE.

FLOOD CERTIFICATION:
NO PORTION OF THIS PROPERTY IS LOCATED WITHIN FLOOD ZONE "A" OR "AE" AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR BENTON COUNTY, ARKANSAS. (FIRM PANEL #05007C0265K. DATED JUNE 5, 2012)

OWNERSHIP OF DOCUMENTS

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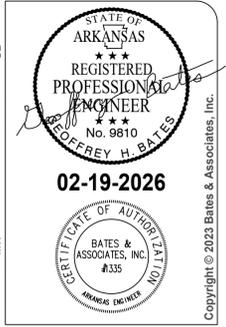
SAFETY NOTICE TO CONTRACTOR

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

THE DUTY OF THE ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, OR NEAR THE CONSTRUCTION SITE.

ENGINEER'S NOTICE TO CONTRACTOR

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE DRAWINGS ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS, TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE DRAWINGS AND WE ASSUME NO RESPONSIBILITY AS TO THE ACCURACY OF THEIR DEPICTED LOCATION ON THESE DRAWINGS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN, AND ALL OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE DRAWINGS BY VERIFICATION OF THEIR LOCATION IN THE FIELD PRIOR TO THE INITIATION OF THE ACTUAL PORTION OF THEIR WORK.



| DATE | REVISIONS |
|----------|---------------------------------|
| 11/06/25 | SKETCH PLAN FOR REVIEW |
| 11/26/25 | 1ST SUBMITTAL |
| 01/14/26 | 2ND SUBMITTAL |
| 01/28/26 | 3RD SUBMITTAL |
| 02/05/26 | ADDED ROOF DRAIN |
| 02/05/26 | PLOTTED CONSTRUCTION PLAN |
| 02/18/26 | UPDATES TO TITLE BLOCK |
| 02/19/26 | ADDED NOTE REGARDING IRRIGATION |

MANA HEALTH BUILDING ADDITION
SDP / PIP
COVER SHEET
ROGERS, ARKANSAS



DRAWING NO.
C01