

PROJECT GENERAL NOTES

- WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODE REQUIREMENTS AND ALL STATE AND FEDERALLY MANDATED REQUIREMENTS IN EFFECT AT THE TIME OF SUBMITTAL FOR BUILDING PERMITS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH THE CURRENT APPLICABLE CODES AND REGULATIONS. ALL NEW FORMS OF CONSTRUCTION TO CONFORM TO "THE AMERICANS WITH DISABILITIES ACT" (ADA).
- THESE DRAWINGS DO NOT CONTAIN INFORMATION WITH REGARD TO CONSTRUCTION SAFETY PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION SAFETY AND SHALL PERFORM ALL WORK IN ACCORDANCE WITH STATE AND/OR FEDERAL CONSTRUCTION SAFETY GUIDELINES.
- CONTRACTOR SHALL THOROUGHLY REVIEW THESE PLANS, VISIT THE SITE, VERIFY ALL DIMENSIONS PRIOR TO SUBMITTING BIDS, AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATE ALL TRADES.
- CONTRACTOR SHALL VERIFY IN FIELD ELEVATIONS, FLOW LINES, EXISTING CONDITIONS, AND POINTS OF CONNECTION WITH SITE IMPROVEMENTS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES ARE TO BE CALLED TO THE ATTENTION OF THE ARCHITECT AND CIVIL ENGINEER BEFORE PROCEEDING WITH ANY WORK.
- CONTRACTOR SHALL VERIFY ALL EQUIPMENT LOCATIONS AND DIMENSIONS AND REQUIRED CLEARANCES OF ALL EQUIPMENT (REFER TO DRAWINGS, SPECIFICATIONS, AND EQUIPMENT MANUALS & CUT SHEETS).
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING PERMITS AND PAYING ALL APPLICABLE FEES REQUIRED FOR COMMENCEMENT OF CONSTRUCTION.
- PRIOR TO THE ISSUANCE OF A BUILDING PERMIT ALL APPLICABLE FEES SHALL BE PAID. THESE FEES SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FEES REQUIRED BY CITY ORDINANCES SUCH AS TRAFFIC IMPACT FEES, PUBLIC FACILITIES FEES, FIRE IMPACT FEES, AND REGIONAL TRANSPORTATION IMPACT FEES.
- ITEMS SHOWN AS N.I.C. ON PLANS MAY REQUIRE SEPARATE SUBMITTALS, APPROVALS AND PERMITS. INSTALLING CONTRACTOR(S) ARE RESPONSIBLE FOR OBTAINING EACH REQUIRED PERMIT.
- ALL EXISTING FIRE LANES TO BE MAINTAINED.
- PROVIDE POSITIVE DRAINAGE OF SURFACE WATER AWAY FROM ALL BUILDINGS WITHOUT PONDING OF WATER ADJACENT TO BUILDINGS OR ON PAVEMENTS. DRAINAGE OF PAVED AND LANDSCAPED AREAS TO BE A MINIMUM OF 1% UNLESS OTHERWISE NOTED. MAXIMUM CROSS SLOPE AT ALL WALKS SHALL BE 2% FOR ADA ACCESSIBILITY.
- ALL EARTH WORK TO BE PERFORMED UNDER THE OBSERVATION OF THE SOILS ENGINEER IN ACCORDANCE WITH RECOMMENDATIONS OF THE SOILS REPORT TO ASSURE PROPER SITE PREPARATION, SELECTION OF SATISFACTORY FILL MATERIALS, AND PLACEMENT AND COMPACTION OF THE FILLS.
- REPAIR EXISTING PUBLIC FACILITIES DAMAGED DURING THE COURSE OF CONSTRUCTION TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION.
- PROVIDE CONTAINER FOR ALL CONSTRUCTION DEBRIS, TRASH AND MATERIALS ON-SITE UNTIL DISPOSAL OFF-SITE CAN BE ARRANGED. REFER TO SPECIFICATION GENERAL CONDITIONS.
- CONTRACTOR SHALL SEAL ALL OPENINGS OR NEW FIRE-RATED STRUCTURES WITH APPROPRIATE FIRE-PROOFING MATERIALS.
- CONTRACTOR SHALL PROVIDE PROTECTIVE WEATHERPROOF TEMPORARY COVER ON ALL ROOF OR PARAPET OPENINGS TO PREVENT WATER INTRUSION INTO INTERIOR/EXTERIOR CONCEALED SPACES OF THE BUILDING.
- CONTRACTOR WILL PROVIDE TAPED INSULATION CRICKETS ON ROOF TOP EQUIPMENT AND ROOF TRANSITIONS AS REQUIRED FOR POSITIVE DRAINAGE TO ROOF DRAINS/GUTTERS.
- ALL WORK SHALL BE ERECTED TRUE AND PLUMB WITHIN NORMAL CONSTRUCTION TOLERANCES SET BY THE ACCEPTED NATIONAL STANDARDS FOR THE APPROPRIATE TRADE. ANY WORK OUT OF ALIGNMENT AND NOT PLUMB BY THE ARCHITECT SHALL BE REJECTED.
- *TYPICAL* MEANS THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR ALL SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.
- ALL VERTICAL DIMENSIONS ARE FROM THE FINISHED FLOOR SLAB UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL NOTIFY THE ARCHITECT OF LONG LEAD TIME ITEMS WHICH MAY ADVERSELY AFFECT THE CONSTRUCTION SCHEDULE.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, PRODUCT DATA AND AS APPROPRIATE, SAMPLES TO THE ARCHITECT FOR REVIEW PRIOR TO FABRICATION OR INSTALLATION OF PRODUCTS TO BE REVIEWED.
- CONTRACTOR IS TO REVIEW AND AFFIX HIS COMPANIES "APPROVED" STAMP TO ALL SHOP DRAWINGS PRIOR TO SUBMITTAL TO THE ARCHITECT.
- CONTRACTOR SHALL SEND DIGITAL SHOP DRAWINGS WHEN POSSIBLE, AND THREE PHYSICAL SAMPLES WHEN DIGITAL ARE NOT AVAILABLE OR AS REQUESTED BY ARCHITECT.
- REQUESTS FOR SUBSTITUTION ARE TO BE MADE IN WRITING TO THE ARCHITECT ACCOMPANIED BY THE APPROPRIATE DATA INCLUDING COSTS, SCHEDULES, PERFORMANCE ADVANTAGE AND ANY VARIATIONS FROM THE ITEMS SPECIFIED.
- CONTRACTOR IS TO INSTALL ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT IN STRICT ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.
- CORNER BEADS ARE TO BE PROVIDED AT FULL LENGTH AT ALL EXPOSED STUCCO PLASTER CORNERS AND ENDS.
- CONTRACTOR SHALL GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
- CONTRACTOR SHALL TURN OVER COMPLETED PROJECT TO OWNER IN AS NEW CONDITION. ALL EXPOSED SURFACES SHALL BE FREE FROM NICKS AND SCRATCHES AND SHALL BE CLEANED OF SMUDGES, MARKS, STAINS, FINGERPRINTS, SOIL, PAINT SPOTS, DUST, LINT, DISCOLORATION OR OTHER FOREIGN MATERIALS.
- THE CONTRACTOR WITH THE OWNER'S REPRESENTATIVE SHALL PREPARE A COMPREHENSIVE PUNCH LIST AT THE TIME OF SUBSTANTIAL COMPLETION. ALL PUNCH ITEMS ARE TO BE RESOLVED TO THE OWNER'S SATISFACTION WITHIN 10 DAYS OF SUBSTANTIAL COMPLETION.
- IN THE EVENT OF CONFLICT BETWEEN THE ARCHITECTURAL DRAWINGS AND THE ENGINEERING DRAWINGS OR SPECIFICATIONS, CONTRACTOR SHALL CONTACT THE ARCHITECT IMMEDIATELY FOR CLARIFICATION.
- ALL NEW PLYWOOD, WOOD BLOCKING, & WOOD NAILERS TO BE FIRE RETARDANT TREATED. SCUPPERS, RAIN COLLECTORS, RAIN LEADERS AND FLASHING SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH SMACNA RECOMMENDATIONS INCLUDING LOCATION OF REQUIRED EXPANSION JOINTS.
- WHEELSTOPS SHALL NOT BE INSTALLED ON AN ACCESSIBLE ROUTE OR PEDESTRIAN BUILDING ACCESS POINTS.
- CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY PRIOR TO BIDDING IF DRAWINGS OR DETAILS ARE NOT CLEARLY INTERPRETED BY CONTRACTOR ON BID, PERMIT, AND CONSTRUCTION SETS FOR THIS PROJECT.
- CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY IF SIZES OF BUILDING MEMBERS, AND ELEMENTS ARE NOT INDICATED ON BID/CONSTRUCTION DOCUMENTS PRIOR TO BIDDING AND CONSTRUCTION.
- IN THE EVENT THAT GRAPHIC REPRESENTATION ON THE BID/CONSTRUCTION DOCUMENTS ARE NOT CLEARLY INTERPRETED BY GC, DUE TO MISSING DESCRIPTIVE NOTATION, CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY PRIOR TO SUBMITTING PROPOSED BIDS TO OWNER. MISSING NOTATION ON DRAWINGS DOES NOT EXCLUDE MATERIALS TO BE INSTALLED AS REPRESENTED IN GRAPHIC FORM.
- UNLESS SPECIFIED OTHERWISE, NOTATION ON BID/CONSTRUCTION DOCUMENTS MAY NOT BE REFLECTIVE OF ACTUAL REQUIRED MANUFACTURER DATA OR MATERIALS TO BE INSTALLED. SEE PROJECT SPECIFICATIONS FOR MANUFACTURER DATA AND INFORMATION ON MATERIALS TO BE INSTALLED.
- CONTRACTOR SHALL PROVIDE A MOCK-UP OF ALL PROPOSED MATERIALS TO BE INSTALLED FOR OWNER AND ARCHITECT REVIEW AND APPROVAL. MOCK-UP SHALL BE 8'-0" W X 10'-0" H.
- CONTRACTOR SHALL NOT INCUR ADDITIONAL COSTS FOR ERRORS, OMISSIONS, OR INCOMPLETE INFORMATION DISCOVERED ON THE BID/CONSTRUCTION DOCUMENTS IF THE ERRORS AND OMISSIONS ARE ESSENTIAL TO AND PART OF THE REQUIREMENT OF THE DESIGN. CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF SUCH ERRORS, OMISSIONS, OR INCOMPLETE INFORMATION ARE PRESENT IN THE BID/CONSTRUCTION DOCUMENTS.
- ALL ROOM IDENTIFICATION AND OTHER INTERIOR SIGNS SHALL BE COMMERCIAL GRADE SIGNS PROVIDED BY THE OWNER AND INSTALLED BY THE G.C. ALL SIGNS SHALL CONFORM TO 2009 ICC/ANSI A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES AND "THE AMERICANS WITH DISABILITIES ACT" (ADA) 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.

SCHEDULE OF ABBREVIATIONS

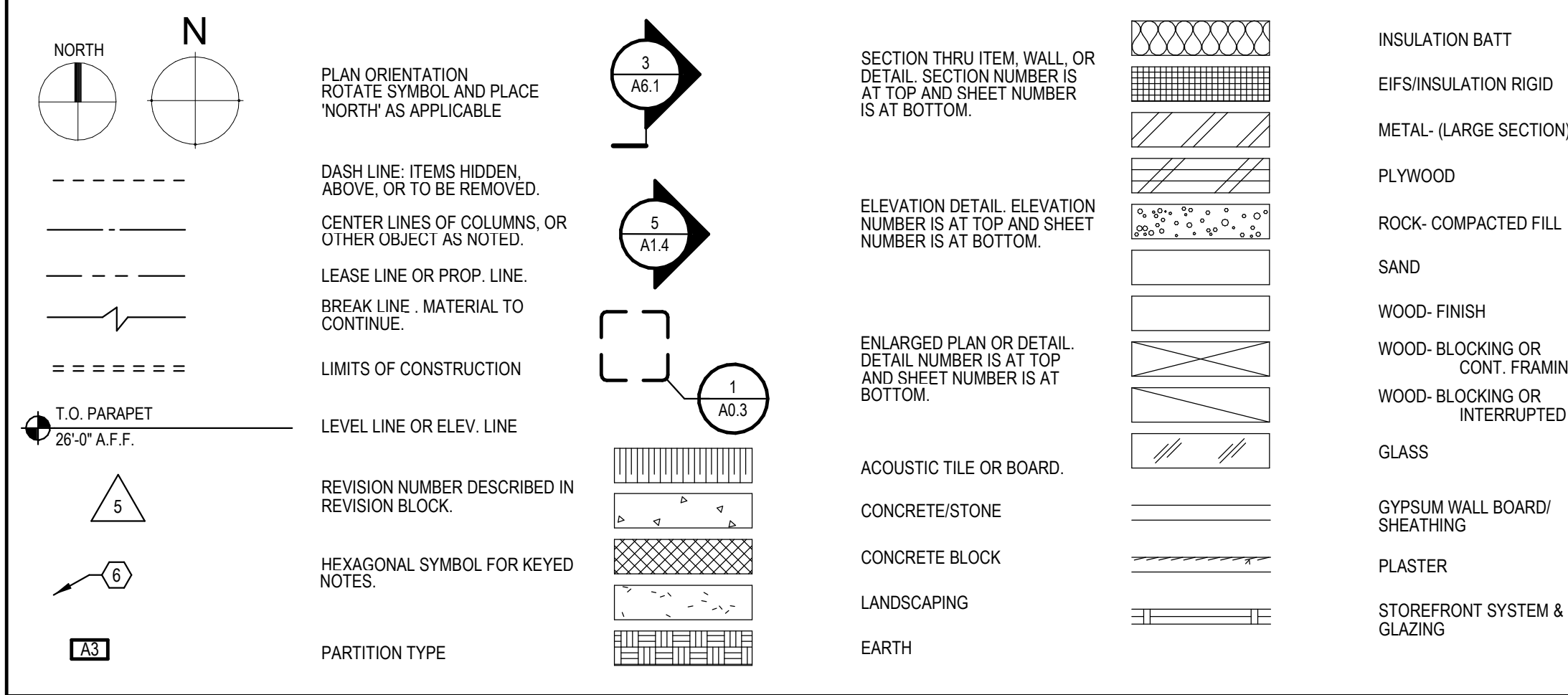
AB	ANCHOR BOLT	EA	EACH	HVAC	HEATING VENTILATION & AIR CONDITIONING	PSI	POUNDS PER SQUARE INCH	UR	URINAL
AC	ACOUSTIC	EJ	EXPANSION JOINT	PT	POINT	PTN	PARTITION	V.C.T.	VINYL COMPOSITION TILE
AC	AIR CONDITIONING	EL	ELEVATION	RA	RADIANT	VERT.	VERTICAL	VEST.	VESTIBULE
AC	AIR COMPRESSOR	ELEC	ELECTRICAL	I.D.	INSIDE DIMENSION	Q.T.	QUARRY TILE	V.T.	VINYL TILE
AC	ALTERNATING CURRENT	ELEV	ELEVATION	INSUL	INSULATION	R.	RISER	V.T.C.	VIDEO TRAINING CABINET
AC	ALUMINUM	ENC	ENCLOSURE	INST.	INSTALL	RA	RETURN AIR	W.	WATT
AL	ALTERNATE	E.W.	ELECTRIC WATER COOLER	INT.	INTERIOR	RAD.	RADIUS	W/	WITH
APPROX	APPROXIMATE	E.W.C.	ELECTRIC WATER COOLER	IN/	INVERT	R.D.	ROOF DRAIN	W.C.	WATER CLOSET
ARCH	ARCHITECTURAL	EXIST	EXISTING	IS	INSIDE	REF.	REFERENCE	WD	WOOD
ASPH	ASPHALT	EXP	EXPANSION	JAN	JANITOR	REFR	REFRIGERATOR	WDO	WINDOW
BD	BOARD	EXTD	EXTENDED	J.D.	JOINT	REIN	REINFORCED	WIO	WITHOUT
BLDG	BUILDING	F.A.	FRESH AIR	K.D.	KNOCKED DOWN	REQD	REQUIRED	WT	WEIGHT
BLK	BLOCK	F.A.	FORCED AIR	LAM	LAMINATE	REV	REVISION	WWF	WELDED WIRE FABRIC
BLKG	BLOCKING	F.A.	FIRE ALARM	LAV	LAVATORY	R.O.	ROUGH OPENING		
BOTT	BOTTOM	F.D.	FLOOR DRAIN	LKR	LOCKER	S.C.	SOLID CORE		
BTU	BRITISH THERMAL UNIT	FDN	FOUNDATION	LT	LIGHT	SCHED	SCHEDULE		
BW	BOTH WAYS	F.V.	FIELD VERIFY	MAX	MAXIMUM	SCOW	SOFT COLD WATER		
C	CONDUIT	F.F.	FINISHED FLOOR	MBH	1,000 BTU/HOUR	SECT	SECTION		
CAB	CABINET	FIN	FINISH	MECH	MECHANICAL	SHT	SHEET		
C.B.	CATCH BASIN	FL	FLOOR	MET	METAL	SHW	SOFT HOT WATER		
CEM	CEMENT	FLSH	FLASHING	MH	MANHOLE	SIM	SIMILAR		
CER	CERAMIC	FLOUR	FLUORESCENT	MIN	MINIMUM	SPEC	SPECIFICATION		
CL	CAST IRON	F.R.T.	FIRE RETARDANT TREATED	MISC	MISCELLANEOUS	S.S.	STAINLESS STEEL		
CON	CONNECTION	FSOW	FILTERED SOFT COLD WATER	M.O.	MASONRY OPENING	STA	STATION		
C.O.	CASED OPENING	FT	FOOT OR FEET	MTD	MOUNTED	STD	STANDARD		
C.O.	CLEANOUT	FTG	FOOTING	N.I.C.	NOT IN CONTRACT	STL	STEEL		
COL	CONDUIT	F.S.	FULL SIZE	NO	NUMBER	STOR	STORAGE		
COLL	COLLUM	FURN	FURNISH	NOM	NOMINAL	STRUC	STRUCTURAL		
CONC	CONCRETE	FUR	FURNISH	N.T.S.	NOT TO SCALE	SUSP	SUSPENDED		
CONSTR	CONSTRUCTION	GA	GALVE	O.C.	ON CENTER	SYN	SYMMETRICAL		
CONT	CONTINUOUS	G.B.	GALVANIZED IRON	O.D.	OVER/LOW DRAIN	T	TREAD		
CONTR	CONTRACTOR	G.B.	GRAB BAR	OFF	OFFICE	T&B	TOP AND BOTTOM		
CTD	COATED	G.C.	GENERAL CONTRACTOR	OD	OUTSIDE DIMENSION	TER	TERRAZZO		
CTSK	COUNTERSUNK	GL	GLASS	O.H.	OVERHEAD	TEL	TELEPHONE		
CC	CENTER TO CENTER	G.M.	GAS METER	OH	OPPOSITE HAND	T&G	TONGUE AND GROOVE		
CW	COLD WATER	GND	GROUND	OPNG	OPENING	THK	THICK		
DBL	DOUBLE	GYP	GYPSON	OPP	OPPOSITE	T.P.	TOP OF PAVEMENT		
DC	DIRECT CURRENT	GWL	GYPSON WALL BOARD	PCF	POUNDS PER CUBIC FOOT	PL	PLATE		
DEPT	DEPARTMENT	H.	HIGH	PLD	PLASTIC LAMINATE	T.W.	TOP OF WALL		
DET	DETAIL	HDWD	HARDWOOD	PLY	PLYWOOD	T.O.S	TOP OF STEEL		
DIA	DIAMETER	HDW	HARDWARE	PR	PAIR	TYP	TYPICAL		
DM	DIMENSION	HOLW	HOLLOW METAL	FRF	PREFABRICATED	U.N.O.	UNLESS NOTED OTHERWISE		
DN	DOWN	HTG	HEATING	P.S.F.	POUNDS PER SQUARE FOOT				
D.O.	DOWN SPOUT								
DWG	DRAWING								

DEFERRED SUBMITTALS

NOTE: THE DEFERRED SUBMITTALS (SHOP DRAWINGS) SHALL BE SUBMITTED TO DESIGN PROFESSIONAL FOR THEIR REVIEW AND THEY WILL BE FORWARDED TO THE BUILDING OFFICIAL FOR REVIEW. THE DEFERRED SUBMITTALS SHALL NOT BE INSTALLED UNTIL THE DEFERRED SUBMITTAL HAVE BEEN APPROVED BY THE BUILDING OFFICIAL PER CODE. DEFERRED SUBMITTALS SHALL CONSIST OF, BUT ARE NOT LIMITED TO FIRE ALARM, FIRE SPRINKLERS, TRUSS DESIGN SUBMITTALS.

THE BACKUP GENERATOR, FUEL CANOPES, AND SIGNAGE SHALL BE PERMITTED SEPARATELY.

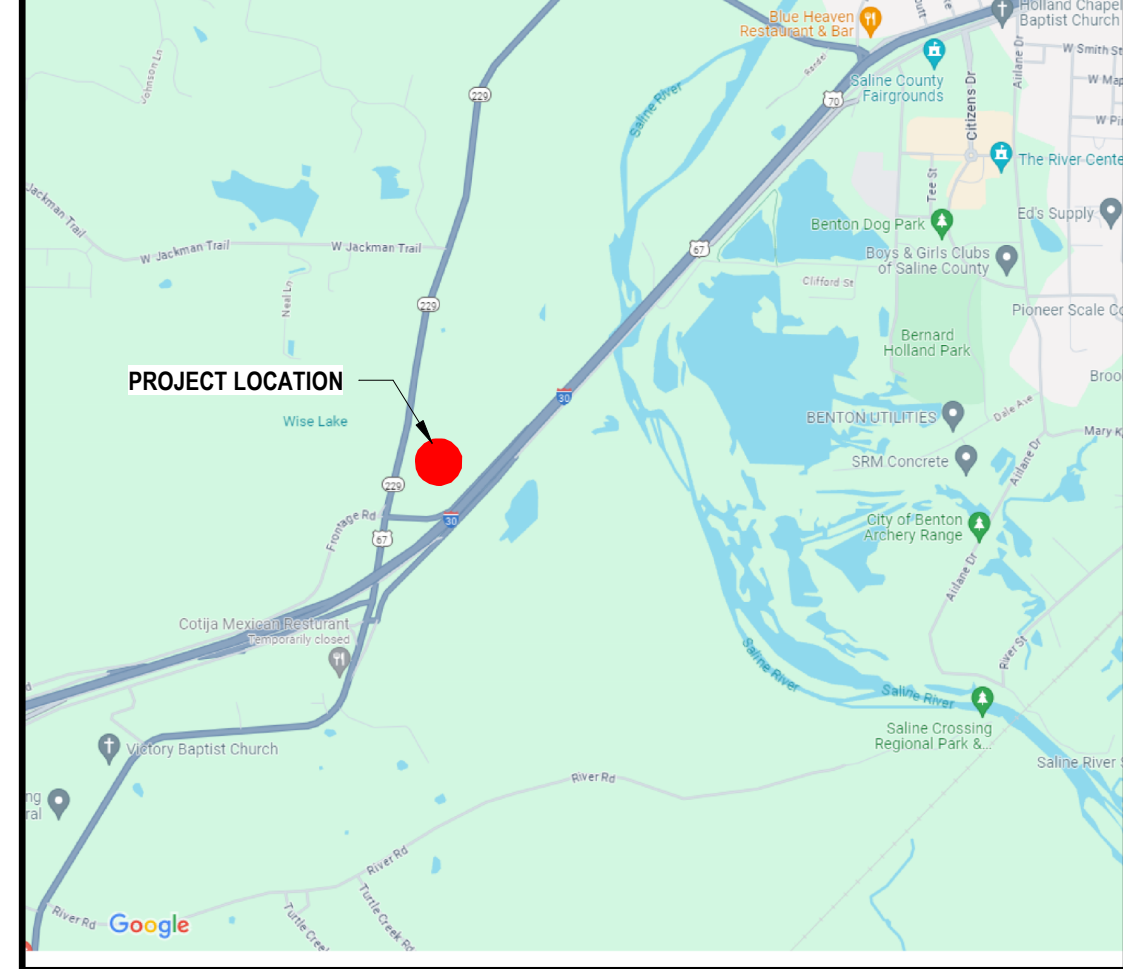
CONVENTIONS



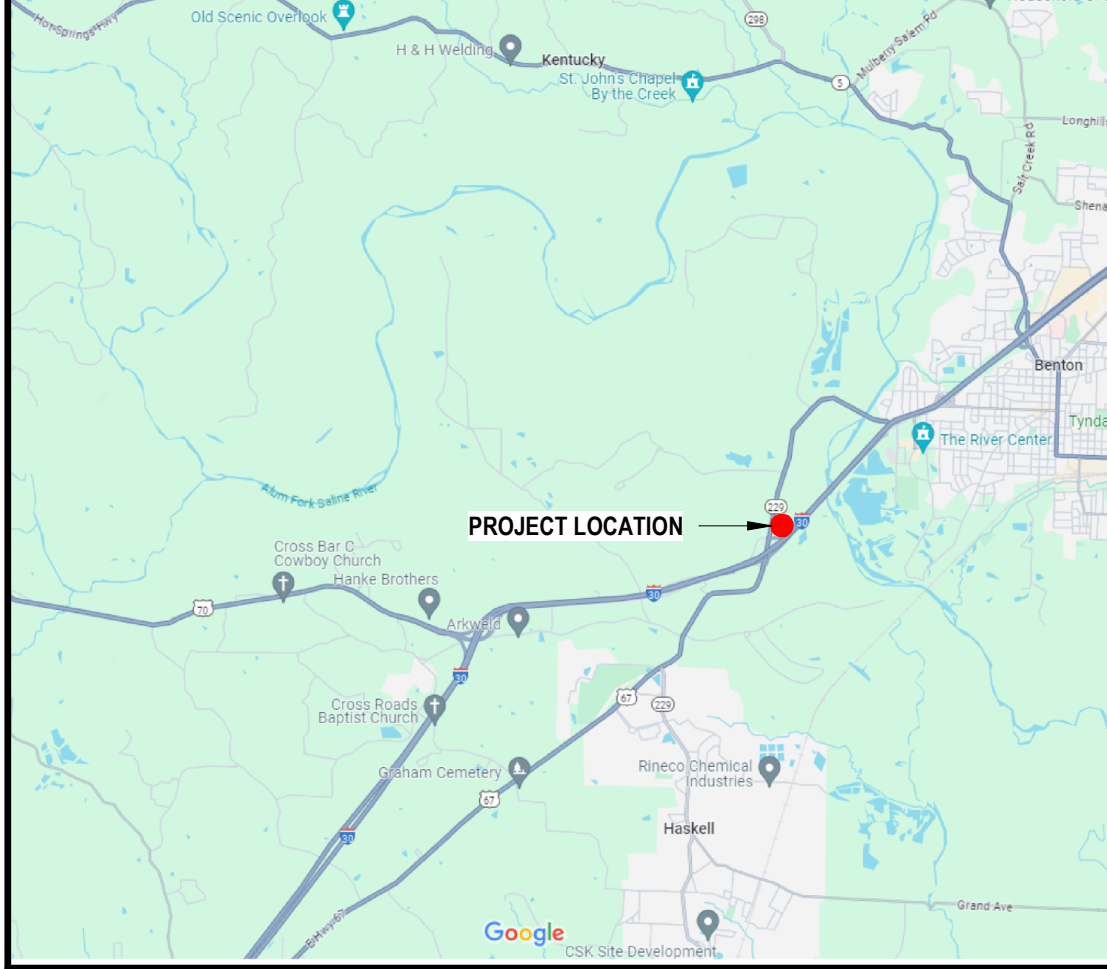
CODE ANALYSIS

BUILDING CODE: 2021 ARKANSAS BUILDING CODE (2021 IBC AMENDED) 2009 ARKANSAS ENERGY CODE (2009 IECC AMENDED) 2021 ARKANSAS FIRE CODE (2021 FC AMENDED) 2019 ARKANSAS FIRE SPRINKLER CODE (2019 NFPA 13 NOT AMENDED) 2019 ARKANSAS FIRE ALARM CODE (2019 NFPA 13R NOT AMENDED) 2018 ARKANSAS PLUMBING CODE (2018 IPC AMENDED) 2021 ARKANSAS MECHANICAL CODE (2021 IMC NOT AMENDED) 2018 ARKANSAS FUEL GAS CODE (2018 IFGC AMENDED) 2020 ARKANSAS ELECTRICAL CODE (2020 NFPA 70 AMENDED) 2017 ARKANSAS ACCESSIBILITY CODE (2017 A117.1 NOT AMENDED)	REQUIRED PLUMBING FIXTURES FOR MERCHANTILE GROUP: - OCCUPANT CATEGORY: - TOTAL OCCUPANTS = 868 - FEMALE OCCUPANTS = 868 / 2 = 434 - MALE OCCUPANTS = 868 / 2 = 434 - REQUIRED WATER CLOSETS: - 1 FEMALE PER 100 OCCUPANTS - FEMALE 434/500 = 2 FIXTURES REQUIRED (30 FIXTURES PROVIDED) - MALE 434/500 = 2 FIXTURES REQUIRED (17 FIXTURES PROVIDED) - URINAL FIXTURES: - 50% OF REQUIRED FIXTURES IN MALE RESTROOM - MALE = 1 FIXTURE REQUIRED (15 FIXTURES PROVIDED) - REQUIRED LAVATORY FIXTURES: - 1 FIXTURE PER 750 OCCUPANTS - FEMALE 434/750 = 1 FIXTURE REQUIRED (16 FIXTURES PROVIDED) - MALE 434/750 = 1 FIXTURE REQUIRED (16 FIXTURES PROVIDED) - REQUIRED DRINKING FOUNTAINS: - 1 FIXTURE PER 1,000 OCCUPANTS - ALL OCCUPANTS 868 / 1000 = 2 FIXTURES REQUIRED (410.3 SUBSTITUTION) - REQUIRED SERVICE SINKS: - 1 SERVICE SINK REQUIRED (4 SERVICE SINKS PROVIDED)																																																
OCCUPANCY TYPE: GROUP (M) MERCHANTILE CONSTRUCTION TYPE: TYPE IIB W/ AUTOMATIC SPRINKLER SYSTEM	INTERIOR FLAME SPREAD CLASSIFICATIONS FOR SPRINKLERED BUILDINGS: <table border="1"> <tr> <th>FUNCTION OF SPACE</th><th>VERTICAL EXITS AND EXIT PASSAGEWAYS</th><th>EXIT ACCESS CORRIDORS & OTHER EXITWAYS</th><th>ROOMS AND ENCLOSED SPACES</th></tr> <tr> <td>M</td><td>B</td><td>C</td><td>C</td></tr> <tr> <td>S1</td><td>C</td><td>C</td><td>C</td></tr> <tr> <td>F</td><td>C</td><td>C</td><td>C</td></tr> <tr> <td>B</td><td>B</td><td>C</td><td>C</td></tr> </table>	FUNCTION OF SPACE	VERTICAL EXITS AND EXIT PASSAGEWAYS	EXIT ACCESS CORRIDORS & OTHER EXITWAYS	ROOMS AND ENCLOSED SPACES	M	B	C	C	S1	C	C	C	F	C	C	C	B	B	C	C																												
FUNCTION OF SPACE	VERTICAL EXITS AND EXIT PASSAGEWAYS	EXIT ACCESS CORRIDORS & OTHER EXITWAYS	ROOMS AND ENCLOSED SPACES																																														
M	B	C	C																																														
S1	C	C	C																																														
F	C	C	C																																														
B	B	C	C																																														
ALLOWABLE BUILDING HEIGHT: - ALLOWED HEIGHT - 75 FT ABOVE GRADE PLANE - PROPOSED - 38'-4" PARAPET HEIGHT - ALLOWED STORES - 3 - PROPOSED STORES - 1 - ALLOWED AREA - 80,000 SF - PROPOSED AREA - 74,707 SF - UNLIMITED AREA ALLOWED UNDER SECTION 507.	SURFACE BURNING CHARACTERISTICS - EFS: <table border="1"> <tr> <th>ICC OR ASTM CRITERIA</th><th>METHOD</th><th>RESULTS</th></tr> <tr> <td>FLAME SPREAD < 25</td><td>ASTM - E84</td><td>FLAME SPREAD 0-15</td></tr> <tr> <td>SMOKE DEVELOPMENT < 450</td><td>ASTM - E84</td><td>FLAME DEVELOPMENT 0-15</td></tr> </table>	ICC OR ASTM CRITERIA	METHOD	RESULTS	FLAME SPREAD < 25	ASTM - E84	FLAME SPREAD 0-15	SMOKE DEVELOPMENT < 450	ASTM - E84	FLAME DEVELOPMENT 0-15																																							
ICC OR ASTM CRITERIA	METHOD	RESULTS																																															
FLAME SPREAD < 25	ASTM - E84	FLAME SPREAD 0-15																																															
SMOKE DEVELOPMENT < 450	ASTM - E84	FLAME DEVELOPMENT 0-15																																															
OCCUPANT LOAD: - FUNCTION OF SPACE: - MERCHANTILE GRADE FLOOR AREA = 60 SF/ PERSON GROSS - STORAGE = 300 SF/ PERSON GROSS - MECHANICAL = 300 SF/ PERSON GROSS - COMMERCIAL KITCHEN = 200 SF/ PERSON GROSS - BUSINESS = 150 SF/ PERSON GROSS - EGRESS SIZING: - OCCUPANT LOAD * 0.2 IN OCCUPANT - EGRESS DISTANCE: - ALLOWABLE DISTANCE WITH SPRINKLER SYSTEM = 250 FEET - SEE SHEET A0.40 FOR EGRESS DISTANCES	GENERAL NOTE: ALL REQUIREMENTS OF LOCAL, STATE, AND NATIONAL ORDINANCES, REGULATIONS AND CODES OF PUBLIC HEALTH AND SAFETY SHALL BE STRICTLY OBSERVED BY THE GENERAL CONTRACTORS AND ALL SUB-CONTRACTORS. ALL BUILDING CODES LISTED ABOVE AND ALL APPLICABLE LOCAL, NATIONAL AND/OR STATE CODES SHALL BECOME PART OF THESE PLANS AS IF BOUND HEREIN.																																																
<table border="1"> <tr> <th>FUNCTION OF SPACE</th><th>GROSS AREA</th><th>OCC. FACTOR</th><th>OCCUPANCY LOAD</th><th>EXIT WIDTH FACTOR</th><th>EXIT WIDTH (IN)</th></tr> <tr> <td>MERCHANTILE (M GROUP)</td><td>37827 SF</td><td>30</td><td>1261</td><td>0.2</td><td>253</td></tr> <tr> <td>ACCESSORY KITCHEN</td><td>7320 SF</td><td>200</td><td>38</td><td>0.2</td><td>9</td></tr> <tr> <td>ACCESSORY BUSINESS</td><td>864 SF</td><td>100</td><td>10</td><td>0.2</td><td>3</td></tr> <tr> <td>ACCESSORY STORAGE</td><td>17901 SF</td><td>300</td><td>63</td><td>0.2</td><td>18</td></tr> <tr> <td>ACCESSORY MECHANICAL</td><td>4552 SF</td><td>300</td><td>20</td><td>0.2</td><td>10</td></tr> <tr> <td>NON-SIMULTANEOUS USE</td><td>6242 SF</td><td>0</td><td>0</td><td>0.2</td><td>0</td></tr> <tr> <td>TOTAL BUILDING AREA, OCCUPANT LOAD, & EXIT WIDTH</td><td>74707 SF</td><td></td><td>1392</td><td></td><td>293</td></tr> </table> - EGRESS WIDTH PROVIDED: - TOTAL EGRESS WIDTH PROVIDED = 669 INCHES - SEE SHEET A0.40 FOR DOOR PROVIDED EGRESS DOORS.	FUNCTION OF SPACE	GROSS AREA	OCC. FACTOR	OCCUPANCY LOAD	EXIT WIDTH FACTOR	EXIT WIDTH (IN)	MERCHANTILE (M GROUP)	37827 SF	30	1261	0.2	253	ACCESSORY KITCHEN	7320 SF	200	38	0.2	9	ACCESSORY BUSINESS	864 SF	100	10	0.2	3	ACCESSORY STORAGE	17901 SF	300	63	0.2	18	ACCESSORY MECHANICAL	4552 SF	300	20	0.2	10	NON-SIMULTANEOUS USE	6242 SF	0	0	0.2	0	TOTAL BUILDING AREA, OCCUPANT LOAD, & EXIT WIDTH	74707 SF		1392		293	<div>3</div>
FUNCTION OF SPACE	GROSS AREA	OCC. FACTOR	OCCUPANCY LOAD	EXIT WIDTH FACTOR	EXIT WIDTH (IN)																																												
MERCHANTILE (M GROUP)	37827 SF	30	1261	0.2	253																																												
ACCESSORY KITCHEN	7320 SF	200	38	0.2	9																																												
ACCESSORY BUSINESS	864 SF	100	10	0.2	3																																												
ACCESSORY STORAGE	17901 SF	300	63	0.2	18																																												
ACCESSORY MECHANICAL	4552 SF	300	20	0.2	10																																												
NON-SIMULTANEOUS USE	6242 SF	0	0	0.2	0																																												
TOTAL BUILDING AREA, OCCUPANT LOAD, & EXIT WIDTH	74707 SF		1392		293																																												

LOCATION MAP

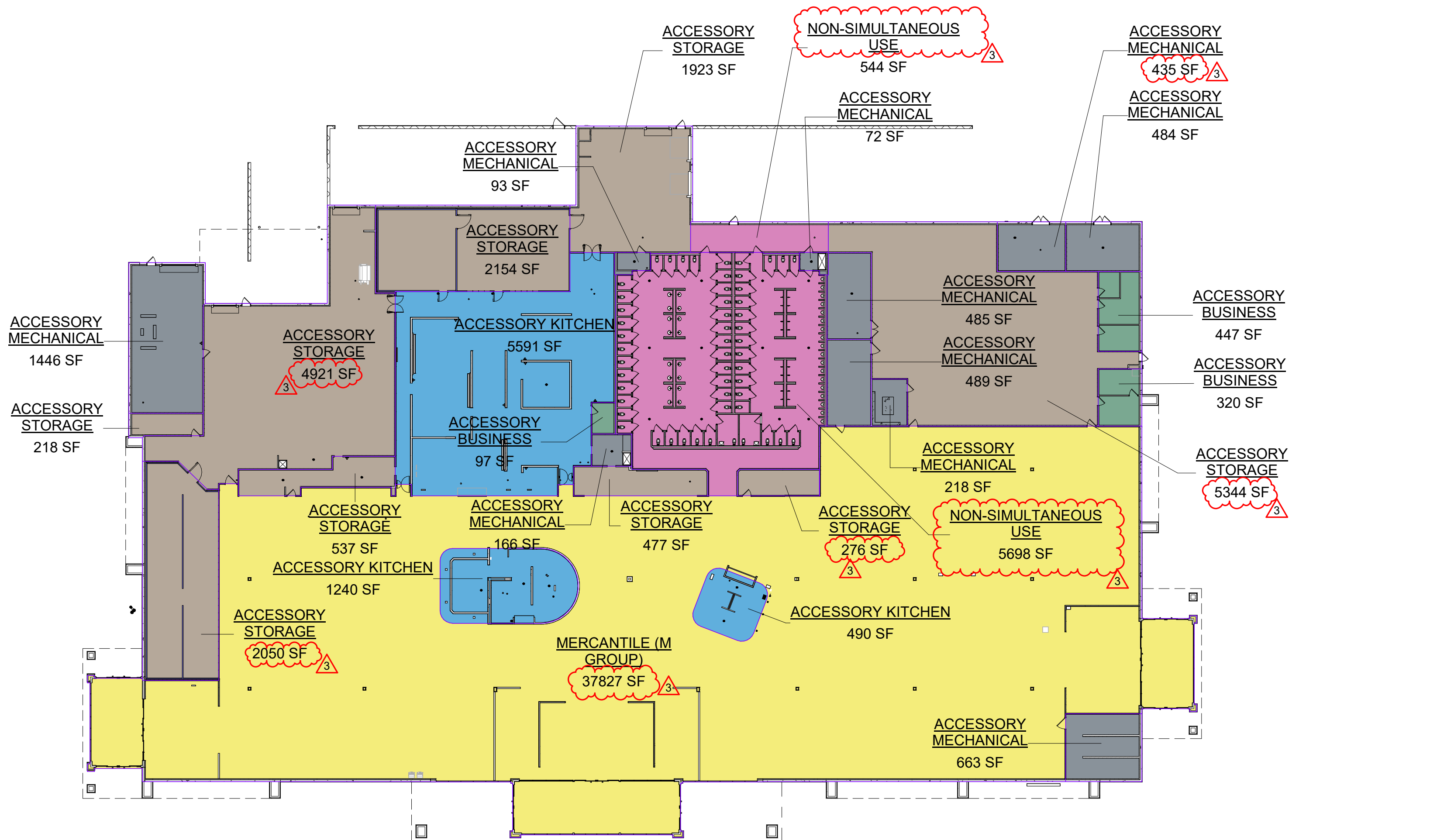


AREA MAP



AREA COLOR LEGEND

- MERCANTILE (M GROUP)
- ACCESSORY KITCHEN
- ACCESSORY BUSINESS
- ACCESSORY STORAGE
- ACCESSORY MECHANICAL
- NON-SIMULTANEOUS USE



BUC-EE'S

A DEVELOPMENT OF

Buc-ee's Benton, LLC
Saline County, Arkansas

TEL: (979) 230-2920

BUC-EE'S TRAVEL CENTER
BENTON, ARKANSAS

74K - L - 2025 -Q1
INTERSTATE 30 & STATE HIGHWAY 229
BENTON, ARKANSAS 72019

LAWRENCE S.
LEVINSON, A.I.A.

7800 Washington Ave., Suite 600 Houston, TX 77007
main: 713.600.3600 www.laarc.com

ISSUE/REVISION LOG:

No.	DESCRIPTION	DATE
3	OWNER CHANGES	04/23/2025

04/23/2025

ISSUED FOR REVIEW: 04/26/2024

ISSUED FOR BID: 05/14/2024

ISSUED FOR PERMIT: 05/14/2024

Copyright 2024 Lawrence S. Levinson, AIA. Warning: This document is protected by U.S. Copyright Law under Section 102 of the U.S. Copyright and the Architectural Works Copyright Protection Act of 1990. Unauthorized reproduction and distribution of this document or any portion of it, other than for use of the particular project, is prohibited and may result in severe civil and criminal penalties, and will be prosecuted to maximum extent possible under the law.

A0.02

INFORMATION SHEET

LAARC PROJECT NUMBER: 2024-107.000

BENTON, ARKANSAS