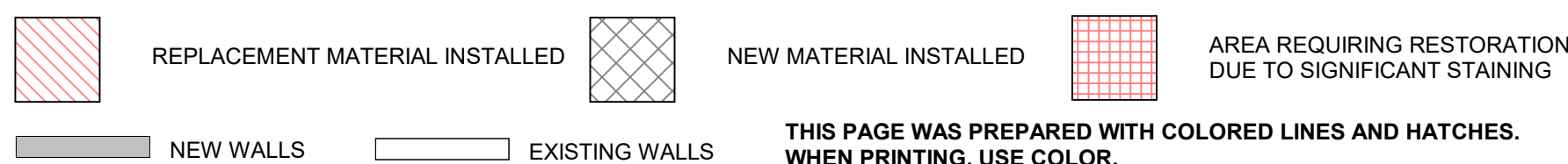


TREATMENT PLAN LEGEND



THIS PAGE WAS PREPARED WITH COLORED LINES AND HATCHES. WHEN PRINTING, USE COLOR.

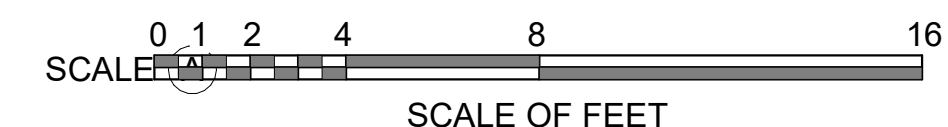
GENERAL NOTES - TREATMENT:

- A. DO NOT SCALE FROM THE DRAWINGS. ALL DIMENSIONS ARE APPROXIMATE. ACTUAL FIELD VERIFIED DIMENSIONS SHALL BE OBTAINED BY THE GENERAL CONTRACTOR OR THE APPLICABLE SUB-CONTRACTORS BEFORE SUBMITTING SHOP DRAWINGS, ORDERING MATERIALS, OR THE COMMENCEMENT OF CONSTRUCTION.
- B. REFER TO THE SPECIFICATIONS FOR THE REQUIREMENT FOR WORKING IN AREAS WHERE LEAD PAINT HAS BEEN IDENTIFIED.
- C. REFER TO THE SPECIFICATIONS FOR THE IDENTIFICATION AND DISPOSAL OF FLUORESCENT LIGHTS AND BALLASTS IN EXISTING FIXTURES.
- D. PHOTOGRAPH AND VIDEO ALL PORTION OF THE WOOD paneled walls, ceiling and beams in the LOBBY PRIOR TO WORK. PHOTOGRAPHS TO BE FLAT TO CAPTURE AS MUCH DETAIL AS POSSIBLE OF ALL SECTIONS OF THE FLAT CEILING, ALL SIDES AND BOTTOMS OF THE BEAMS, AND DECORATIVE PLASTERWORK. PROVIDE ADEQUATE LIGHTING TO THE DOCUMENTATION. PHOTOGRAPHS SHALL BE OF A RESOLUTION GREAT ENOUGH TO SEE DETAIL OF THE WOOD GRAINING AND LATER STENCILING THAT REMAINS INTACT. 02) 02 280 STRIP ALL UPPER LAYERS OF PAINT TO REVEAL THE WOOD GRAIN DECORATIVE PAINTED FINISH BELOW. TO SOUND PLASTER MATERIAL. STRIP ALL WAX FROM THE WOOD GRAIN PAINTED FINISH, IN ORDER FOR NEW PRIMERS AND PATCHES TO BOND TO THE SURFACE.
- E. PROVIDE A MOCK-UP OF THE DECORATIVE WOOD GRAIN PAINTING TO MATCH THE EXISTING HISTORIC WOOD GRAIN PAINTING ON ALL SURFACE OF THE BEAMS AND PLASTER MOLDINGS WITH A WAX COATING. CORRECT MOCK-UP, PER CONTRACTING OFFICER DIRECTIVE, UNTIL THE WOOD GRAINING PATTERN, COLORS, BLENDING, AND FINISH ARE APPROVED. PROVIDE MOCK-UPS AND SAMPLES, PER SPECIFICATIONS.
- F. PROVIDE MOCK-UP OF THE FLAT PAINTED CEILING COFFERS, PER THE HISTORIC PAINT REPORT. PROVIDE MOCK-UPS, PER SPECIFICATIONS. UPON APPROVAL OF MOCK-UP, INSTALL APPROVED HISTORIC FINISHES ON THE BEAMS AND CEILINGS, ONLY AFTER ALL OTHER REHABILITATION WORK IN THE LOBBY HAS BEEN COMPLETED.
- G. INSPECT HISTORIC STAINED FINISH AND CREATE TWO MOCK-UPS OF THE PROPOSED NEW STAINED FINISH, INCLUDING NEW WAXED TOP COATING. MOCK-UPS TO INCLUDE ONE FOR THE STRIPPED AND RESTORED HISTORIC WOOD PANELING AND ONE FOR THE NEW, REPLACEMENT WOOD PANELING. CORRECT MOCK-UPS, PER CONTRACTING OFFICER DIRECTIVE, UNTIL THE MOCK-UPS ARE APPROVED. PROVIDE MOCK-UPS AND SAMPLES, PER SPECIFICATIONS. UPON APPROVAL OF MOCK-UP, INSTALL APPROVED STAINED AND WAXED FINISHES ON THE WOOD WALL PANELING.
- H. HISTORIC WOOD PLASTER CAPITALS HAVE ALL BEEN REMOVED FROM THE ROOM. SEVERAL OF THE ORIGINAL CAPITALS ARE IN PARK ARCHIVAL STORAGE FOR REFERENCE OF HISTORIC FINISHES. EXISTING PILASTER CAPITALS ARE GFRC.
- I. PROVIDE A MOCK-UP OF THE DECORATIVE WOOD GRAIN PAINTING TO MATCH THE EXISTING HISTORIC WOOD GRAIN PAINTING ON ALL SURFACES OF THE BEAMS AND PLASTER MOLDINGS AND THE ADJACENT WOOD PANELING AND PILASTERS, AND TOPPED WITH A WAX COATING. CORRECT MOCK-UP, PER CONTRACTING OFFICER DIRECTIVE, UNTIL THE WOOD GRAINING PATTERN, COLORS, BLENDING, AND FINISH ARE APPROVED. PROVIDE MOCK-UPS AND SAMPLES, PER SPECIFICATIONS. UPON APPROVAL OF MOCK-UP, INSTALL APPROVED HISTORIC FINISHES ON THE PLASTER CAPITALS, ONLY AFTER ALL OTHER REHABILITATION WORK IN THE LOBBY HAS BEEN COMPLETED.

KEYNOTES

02.26	099123 - EXISTING RADIATOR TO REMAIN. PROTECT DURING CONSTRUCTION. PREP, PRIME AND PAINT.
03.200	030130.52, 033000 - 103 MECHANICAL: INFILL HOLES IN FLOOR CUT FOR GRILLES, PIPES, OR DUCTS WITH REINFORCED CONCRETE (24 SF - SCATTERED).
03.212	030130.52, 033000 - 110C ELEVATOR LOBBY: PATCH FLOORING WHERE PIPE IS REMOVED (1 SF).
03.213	030130.52, 033000 - INFILL HOLES IN FLOOR CUT FOR GRILLES, PIPES, OR DUCTS WITH REINFORCED CONCRETE. REFERENCE STRUCTURAL DRAWINGS (16 SF).
03.231	033000, 093013 - 109 SUNPORCH: REBUILD RAMP TO BE CONTINUOUS AND TO MEET ABA AND ADA REQUIREMENTS. REFERENCE STRUCTURAL DRAWINGS.
03.260	030130.52, 033000 - 117 CLOAKROOM: INFILL FLOOR WHERE MECHANICAL DUCT WAS REMOVED (6 SF).
04.220	040323 - 110C ELEVATOR LOBBY: SPOT REPOINT DOOR OPENINGS AND JAMBS AT NORTH AND SOUTH WALLS (36 SF).
04.221	040323, 081113 - 110C ELEVATOR LOBBY: CLEAN-UP EXISTING OPENING. INSTALL NEW METAL FRAME AND ACCESS DOOR. REPAIR PLASTER SURROUNDING NEW ACCESS DOOR.
05.07	054000 - INSTALL NEW METAL STUDS TO CREATE NEW CHASE. STUDS TO SPAN FLOOR TO CEILING.
05.50	109 SUNPORCH: INSTALL RAILING ON NORTH AND SOUTH SIDES OF NEW RAMP (24 LF)
05.51	042000, 092400 - 109 SUNPORCH: INFILL GRILLE OPENING WITH NEW MASONRY TO MATCH. PATCH WALL FINISHES TO MATCH SURROUNDING STUCCO ON ROOM 109 SIDE (6 SF).
05.510	042000, 092400 - 109 SUNPORCH: INFILL GRILLE OPENING WITH NEW MASONRY TO MATCH. PATCH WALL FINISHES TO MATCH SURROUNDING STUCCO ON ROOM 109 SIDE (6 SF).
06.100	060312, 099300 - 104 OFFICE: REFINISH BUILT-IN DESK AND MAKE REPAIRS (REPLACE MISSING BACK IN CUBBY). ENSURE ALL DRAWERS AND DOOR WORK PROPERLY.
06.101	060312, 099300 - 104 OFFICE: REFRESH FINISH ON ALL MILLWORK.
06.250	061000 - 110C ELEVATOR LOBBY: REPLICATE AND REPLACE MISSING DOOR TRIM. TO MATCH EXISTING IN SPECIES, PROFILE, AND FINISH.
06.251	061000 - 110C ELEVATOR LOBBY: REPLICATE TWO WOOD DOOR FRAMES (2 EA), REFERENCE DETAIL.
08.02	080152.61, 088000 - REFERENCE EXTERIOR TREATMENT ELEVATIONS, THE WINDOW SCHEDULE, AND SPECIFICATIONS FOR WORK REQUIRED FOR ALL EXTERIOR WINDOWS AND WINDOW TRIM.
08.04	081113, 081433, 087100 - INSTALL NEW DOOR, REFERENCE DOOR SCHEDULE AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
08.221	099123 - 110 LOBBY: RESTORE FINISHES ON 2 PAIRS OF DOUBLE-ACTING DOORS TO MATCH PAINT ANALYSIS REPORT (4 EA), REFERENCE DOOR SCHEDULE FOR ADDITIONAL WORK.
08.225	110 LOBBY: REFERENCE DOOR SCHEDULE FOR WORK TO GATES.
08.601	092300, 092300, 092400 - PREP EXISTING DOOR OPENING FOR NEW CUSTOM STEEL ENTRY DOUBLE DOORS WITH ARCHED TRANSOM TO MATCH THE HISTORIC CONFIGURATION AT SUN PORCH. DAMAGED INTERIOR PLASTER AND EXTERIOR STUCCO DURING INSTALL SHALL BE REPAIRED IN KIND.
08.602	092300, 092400 - PREP EXISTING WINDOW OPENING FOR NEW CUSTOM STEEL WINDOWS TO MATCH THE HISTORIC CONDITION AT SUN PORCH. DAMAGED INTERIOR PLASTER AND EXTERIOR STUCCO DURING INSTALL SHALL BE REPAIRED IN KIND.
09.220	093013 - 104 OFFICE: INSTALL REPLICATED QUARRY TILE IN OFFICE.
09.221	092300 - 104 OFFICE: REPAIR DIAGONAL CRACK IN PLASTER ON NORTH WALL (+/- 8 LF)
09.223	099123 - 104 OFFICE: PREP, PRIME, AND PAINT ALL WALLS.
09.225	099123 - 104 OFFICE: PREP, PRIME, AND PAINT WINDOW SASHES (2 EA).
09.240	093013 - 109 SUNPORCH: SPOT REPAIR (INFILL DIVOTS WITH COLORED PATCHES) AND REGROUT SPOT LOCATIONS IN TILED FLOOR (657 SF)
09.242	093013 - 109 SUNPORCH: REPLACE DAMAGED BASE TILES 6.126" SQ X 15/16 THICK (3 EA)
09.243	093013 - 109 SUNPORCH: INSTALL REPLICATED QUARRY TILE AT NEW INTERIOR ABA RAMPS (134 SQ).
09.244	092300, 099123 - 109 SUNPORCH: REPAIR CRACK IN SOUTH PLASTER WALL (11 LF), PREP, PRIME, AND PAINT TO MATCH ADJACENT WALLS.
09.245	099123 - 109 SUNPORCH: PAINT ALL WALLS (480 SF).
09.246	092400, 099123 - 109 SUNPORCH: INSTALL NEW STUCCO PATCH AT NEW INFILL (6 SF), PREP, PRIME, AND PAINT TO MATCH ADJACENT WALLS.
09.255	093013 - 110 LOBBY: RESET MOSAIC TILES THAT HAVE SETTLED AND CREATE TRIPPING HAZARDS (24 LF)
09.256	093013 - 110 LOBBY: REPLACE MISSING FIELD HEXAGONAL TILES (60 EA)
09.257	093013 - 110 LOBBY: REPLACE MISSING WHITE HEXAGONAL TILES AT EAST THRESHOLD (30 EA)
09.258	093013 - 110 LOBBY: INSTALL NEW TILE THRESHOLD BETWEEN LOBBY AND ELEVATOR ROOM (1 EA)
09.259	110 LOBBY: CLEAN MARBLE BASE AND REMOVE PAINT (49 LF)
09.260	110 LOBBY: INSTALL NEW GROUT AT MARBLE BASE (49 LF)
09.262	060312 - 110 LOBBY: REPAIR AND REPLACE EXISTING DAMAGED OR WARPED WOOD PANELING. REPLACEMENT WOOD PANELING TO MATCH THE HISTORIC WOOD PANELING SPECIES AND CUT. WARPED OAK MAY BE ADHERED AS VENEER TO STABLE PLYWOOD BACKER. PROVIDE SAMPLES OF REPLACEMENT OAK PANELING TO MATCH THE HISTORIC FOR CONTRACTING OFFICER APPROVAL (1 LS)
09.263	090394 - 110 LOBBY: RESTORE HISTORIC PAINT FINISHES BASED ON HISTORIC PAINT ANALYSIS REPORT. PRIME ALL SURFACES, PER SPECIFICATIONS. (1 LS)
09.264	099300 - 110 LOBBY: RESTORE FINISH ON WOOD COUNTER AND GATE (1 LS)
09.265	090394 - 110 LOBBY: REPAIR GRILLE BASED ON HISTORIC PAINT ANALYSIS. INSTALL STANDARD SCREWS (1 EA)
09.266	060312 - 110 LOBBY: REPAIR BASES OF DOOR TRIM IN WEST WALL (6 EA)
09.268	093013 - 110C ELEVATOR LOBBY: INSTALL QUARRY TILE THROUGH OUT ELEVATOR ROOM. TILE TO BE FLUSH WITH ADJACENT FLOORS AT ALL DOOR OPENINGS.
09.270	093013 - 110C ELEVATOR LOBBY: INSTALL NEW 6" QUARRY TILE BASE AT PERIMETER.
09.271	092300 - 110C ELEVATOR LOBBY: REMOVE DETERIORATED PLASTER AND WALL COVERINGS. REPAIR PLASTER WALLS AND SKIM COAT. INTENSIVE PLASTER REPAIRS AND REPLACEMENT.
09.274	093013 - ROOM 110A: REPLACE A FEW DAMAGED PIECES OF HEXAGONAL FLOORING TILE (5 EA).
09.276	096613 - ROOM 110B: REPAIR/INFILL HOLE IN FLOOR ALONG WEST WALL. REFERENCE STRUCTURAL DRAWINGS.
09.285	093013 - 117 CLOAKROOM: INSTALL NEW QUARRY TILE FLOORING (121 SF)
09.286	117 CLOAKROOM: REINSTALL MARBLE PLINTH BASE; STRIP PAINT FROM MARBLE PLINTHS (6 EA)
09.287	092300 - 117 CLOAKROOM: REPAIR PLASTER AT EAST, WEST, AND NORTH WALLS WHERE DUCT AND ALARM DEVICES ARE REMOVED (14 SF)
09.289	099123 - 117 CLOAKROOM: PREP, PRIME, AND PAINT ALL WALLS.
09.292	099300 - 117 CLOAKROOM: REFRESH FINISH ON DOOR AND SIDELIGHT (1 LS).
09.294	099300 - 117 CLOAKROOM: REFRESH FINISH ON ALL MILLWORK (1 LS)
14.01	142400 - REFURBISH EXISTING ELEVATOR CAB AND INSPECT/REPAIR CONTROLS AND OPERATING MECHANISMS, REFERENCE SPECIFICATIONS.
14.02	142400 - 110C ELEVATOR LOBBY: INSTALL METAL THRESHOLD AT ELEVATOR OPENING (1 EA)

1 Enlarged Floor Plan - First Floor West Entrance Area
A1.5 1/4" = 1'-0" SCALE (A)



A/E FIRMS PRIME/ARCH: STRATA ARCHITECTURE 1701 OAK STREET, SUITE 100 KANSAS CITY, MO 1-816-474-9000	DESIGNED: CA/AG CADD: CA/ZA/EM TECH. REVIEW: AG DATE: 10.27.2023	SUB SHEET NO. 01 A1.5	TITLE OF SHEET MAURICE BATHHOUSE ENLARGED PLANS REHABILITATE BATHHOUSES HOT SPRINGS NATIONAL PARK	DRAWING NO. 128 182951 PMIS/PKG NO. 318915 SHEET 47 OF 286
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