

- GENERAL NOTES - DEMOLITION:**
- A. DO NOT SCALE FROM THE DRAWINGS. ALL DIMENSIONS ARE APPROXIMATE. ACTUAL FIELD VERIFIED DIMENSIONS SHALL BE OBTAINED BY THE GENERAL CONTRACTOR OR THE APPLICABLE SUB-CONTRACTORS BEFORE SUBMITTING SHOP DRAWINGS, ORDERING MATERIALS, OR THE COMMENCEMENT OF CONSTRUCTION.
 - B. THE SCOPE OF DEMOLITION WORK IS NOT LIMITED EXCLUSIVELY TO THE WORK INDICATED ON THE DEMOLITION DRAWINGS. THE CONSTRUCTION DOCUMENTS ARE PROVIDED AS A GENERAL GUIDE FOR DEMOLITION. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS, IDENTIFYING ADDITIONAL DEMOLITION WORK THAT MAY BE REQUIRED FOR THE INSTALLATION OF NEW WORK. REMOVE ALL UNUSED AND/OR ABANDONED PIPE, CONDUIT, CONDUCTORS, SCREWS, NAILS AND FASTENERS IN THEIR ENTIRETY BACK TO THEIR ORIGINAL SOURCE.
 - C. REFER TO THE SPECIFICATIONS FOR THE REQUIREMENT FOR WORKING IN AREAS WHERE LEAD PAINT HAS BEEN IDENTIFIED.
 - D. REFER TO THE SPECIFICATIONS FOR THE IDENTIFICATION AND DISPOSAL OF FLUORESCENT LIGHTS AND BALLASTS IN EXISTING FIXTURES
 - E. REFER TO THE SPECIFICATIONS FOR REQUIRED SAFETY MEASURES REQUIRED FOR THE EXCAVATION OF SOILS SURROUNDING THE MAURICE STRUCTURE WHERE ELEVATED LEVELS OF METALS WERE IDENTIFIED.

KEYNOTES

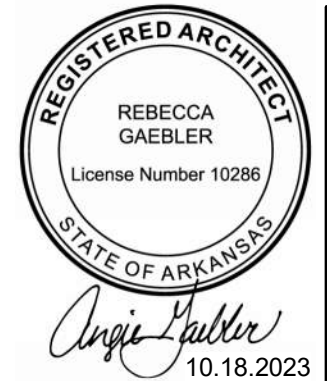
02.01	024296, 028333 - REMOVE EXISTING DOOR, FRAME AND ACCESSORIES. REFERENCE DOOR SCHEDULE AND SPECIFICATION.
02.02	024119 - REMOVE EXISTING STOREFRONT WINDOWS AND ASSOCIATED ANCHORS. BE CAREFUL TO LIMIT DAMAGE TO BOTH INTERIOR PLASTER AND EXTERIOR STUCCO. REFERENCE WINDOW SCHEDULE AND SPECIFICATIONS. CONTRACTOR TO DISPOSE OF STOREFRONT WINDOWS AND ASSOCIATED COMPONENTS.
02.03	024296, 028212, 028333 - DEMOLISH MECHANICAL, ELECTRICAL AND/OR PLUMBING EQUIPMENT, INCLUDING EXISTING HVAC AND ELECTRICAL EQUIPMENT, FIRE PROTECTION EQUIPMENT, CONDUIT, DUCTWORK, PIPING, ACCESSORIES, AND LIGHTING IN THEIR ENTIRETY. DISPOSE OF ALL ITEMS STORED IN THIS SPACE, INCLUDING BUILDING MATERIALS, FIXTURES, SHELVING, BOXES, AND OTHER SIMILAR ITEMS. REFERENCE MEP DRAWINGS.
02.06	013591, 024296, 028333 - CAREFULLY REMOVE AND SALVAGE ALL HISTORIC PLUMBING FIXTURES TO BE GIVEN TO THE PARK FOR STORAGE, TYPICAL.
02.09	REFERENCE ENLARGE VERTICAL CIRCULATION PLANS FOR REQUIRED WORK, TYPICAL
02.10	024296, 028212, 028333, 017329 - CUT NEW HOLE INTO EXISTING FLOOR SLAB FOR NEW MEP PENETRATION. REFERENCE MEP AND STRUCTURAL DRAWINGS.
02.200	024296 - DEMOLISH EXISTING PORTION OF CONCRETE STAIRS AND FRONT LANDING, REFERENCE CIVIL DRAWINGS. *
02.201	024296 - DEMOLISH EXISTING RUNNELS, REFERENCE CIVIL DRAWINGS (N-+/-74 LF, E-+/-108 LF, S-+/-41 LF, W-+/-6 LF: TOTAL +/-229 LF).
02.202	024296 - 103 MECHANICAL: DEMOLISH EXISTING CONCRETE PADS UNDER EQUIPMENT, REFERENCE MEP DRAWINGS (QTY 2 LARGE AND 1 SMALL).
02.203	024296 - DEMOLISH EXISTING EXTERIOR HANDRAIL, SUPPORTS AND ANCHORS.
02.204	024296 - DEMOLISH EXISTING PORTION OF RAMP SLAB, REFERENCE CIVIL DRAWINGS.
02.220	024296, 028333 - 105 WOMEN'S COOLING ROOM: DEMOLISH THE EXISTING RESTROOM IN THE NORTHEAST CORNER. REMOVE ALL WALLS, DOOR, FIXTURES, PIPING, AND ASSOCIATED ANCHORS AND HARDWARE.
02.221	105 WOMEN'S COOLING ROOM: EXISTING CHASE TERRAZZO BASE TO REMAIN IN PLACE. CAREFULLY REMOVE ALL DEBRIS WITHIN THE SHAFT AND PREP FOR NEW MEP UTILITIES AND NEW FRAMING. REFERENCE MEP DRAWINGS.
02.222	105 WOMEN'S COOLING ROOM: EXISTING CHASE TILED WALL AND TERRAZZO BASE TO REMAIN IN PLACE. CAREFULLY REMOVE ALL DEBRIS WITHIN THE SHAFT AND PREP FOR NEW MEP UTILITIES AND NEW FRAMING. REFERENCE MEP DRAWINGS.
02.230	024296, 028333 - 106, 107, & 111: DEMOLISH EXISTING METAL FRAMING, DRYWALL, INSULATION AND ALL ASSOCIATED ANCHORS.
02.232	024296 - ROOM 111: DEMOLISH EXISTING TILE FLOORING AND GROUT (+/-200 SF).
02.250	024119, 024296 - 109 SUNPORCH: CAREFULLY DEMOLISH EXISTING NON-HISTORIC RAMP SLAB AND TILE (+/-135 SF). SURROUNDING FINISHES AND STRUCTURE THAT ARE TO REMAIN SHALL BE PROTECTED.
02.251	024296 - 109 SUNPORCH: CAREFULLY REMOVE THROUGH-WALL GRILLES IN NORTH AND SOUTH WALLS (2 EA). PROTECT SURROUNDING FINISHES DURING REMOVAL.
02.252	024296 - 109 SUNPORCH: CAREFULLY REMOVE EXISTING BASE WALL RADIATORS, PIPES, AND ASSOCIATED ANCHORS, REFERENCE MEP DRAWINGS. PROTECT QUARRY TILE FLOORING DURING REMOVAL
02.265	017329, 024296 - 115/116: CUT A HOLE INTO THE EXISTING CHASE WALL TO ALLOW ACCESS FOR INSTALLING NEW MEP SYSTEMS. THE HOLE SHOULD BE CLEAN CUT AND ALLOW FOR AN EASY INSTALLATION OF ACCESS DOOR. PROVIDE SUPPORT AS REQUIRED FOR INSTALLATION. PRIOR TO CUTTING HOLE, COORDINATE THE REQUIRED HEIGHT OF HOLE WITH MEP ALL TRADES. REFERENCE MEP DRAWINGS.
02.270	024296 - 117 CLOAKROOM: REMOVE EXISTING BUILT-IN DUCT IN NORTHWEST CORNER OF ROOM, REFERENCE MEP DRAWINGS.
02.271	024296 - 117 CLOAKROOM: REMOVE RECEPTACLES AND ALARM PANELS, REFERENCE MEP (3 EA).
02.680	024296 - EXTERIOR ABA RAMP: EXISTING ABA RAMP FOUNDATION TO REMAIN. CAREFULLY DEMOLISH EXISTING RAMP SLAB AND RAILINGS IN THEIR ENTIRETY, REFERENCE CIVIL DRAWINGS.
05.00	055213, 099123 - NORTH/SOUTH STAIRS: STRIP AND REPAINT EXISTING HISTORIC ELEVATOR CAGE TO REMAIN (ALL LEVELS - BASEMENT THROUGH 3RD FLOOR), PAINT WITH COLOR FROM HISTORIC PAINT ANALYSIS. MAKE REPAIRS TO ELEVATOR CAGE FOR SAFETY, REFERENCE VERTICAL CIRCULATION INTERIOR ELEVATION. REFER TO MATERIALS TEST REPORT FOR LEAD PAINT TESTING.

DEMOLITION LEGEND

	EXISTING WALL AND/OR CONSTRUCTION TO REMAIN
	EXISTING WALL AND/OR CONSTRUCTION TO BE DEMOLISHED
	DAMAGED AND / OR DETERIORATED STUCCO
	EXISTING INTERIOR CONCRETE SLAB TO BE DEMOLISHED
	EXISTING CRACK IN STUCCO AND/OR PLASTER

THIS PAGE WAS PREPARED WITH COLORED LINES AND HATCHES. WHEN PRINTING, USE COLOR.

1
AX1.1 Demolition First Floor Plan
1/8" = 1'-0" SCALE (A)



A/E FIRMS
PRIME/ARCH:
STATA ARCHITECTURE
1701 CHAK STREET,
SUITE 100
KANSAS CITY, MO
64108-4700

DESIGNED:
CA/AG
CADD:
CA/ZA/EM
TECH. REVIEW:
AG
DATE:
10.27.2023

SUB SHEET NO.
01
AX1.1

TITLE OF SHEET
MAURICE BATHHOUSE
DEMOLITION FIRST FLOOR
PLAN
REHABILITATE BATHHOUSES
HOT SPRINGS NATIONAL PARK

DRAWING NO.
128
182951
PMIS/PKG NO.
318915
SHEET
28 OF 286

11/6/2023 8:41:38 PM