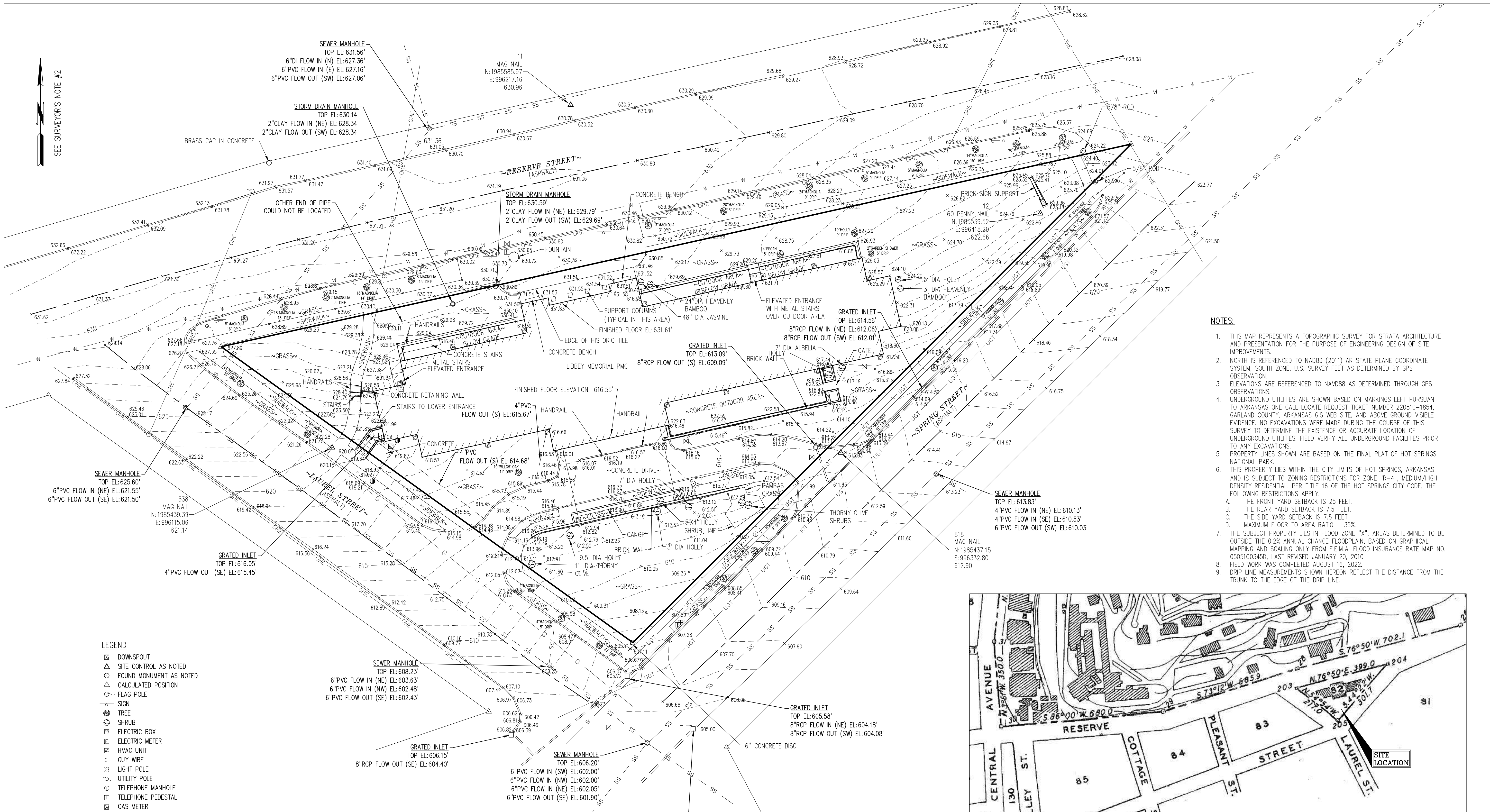


SEE SURVEYOR'S NOTE #2

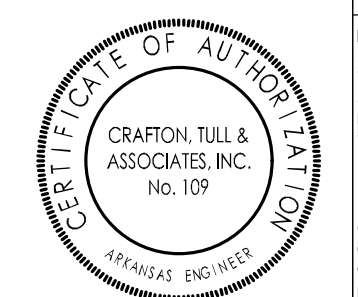
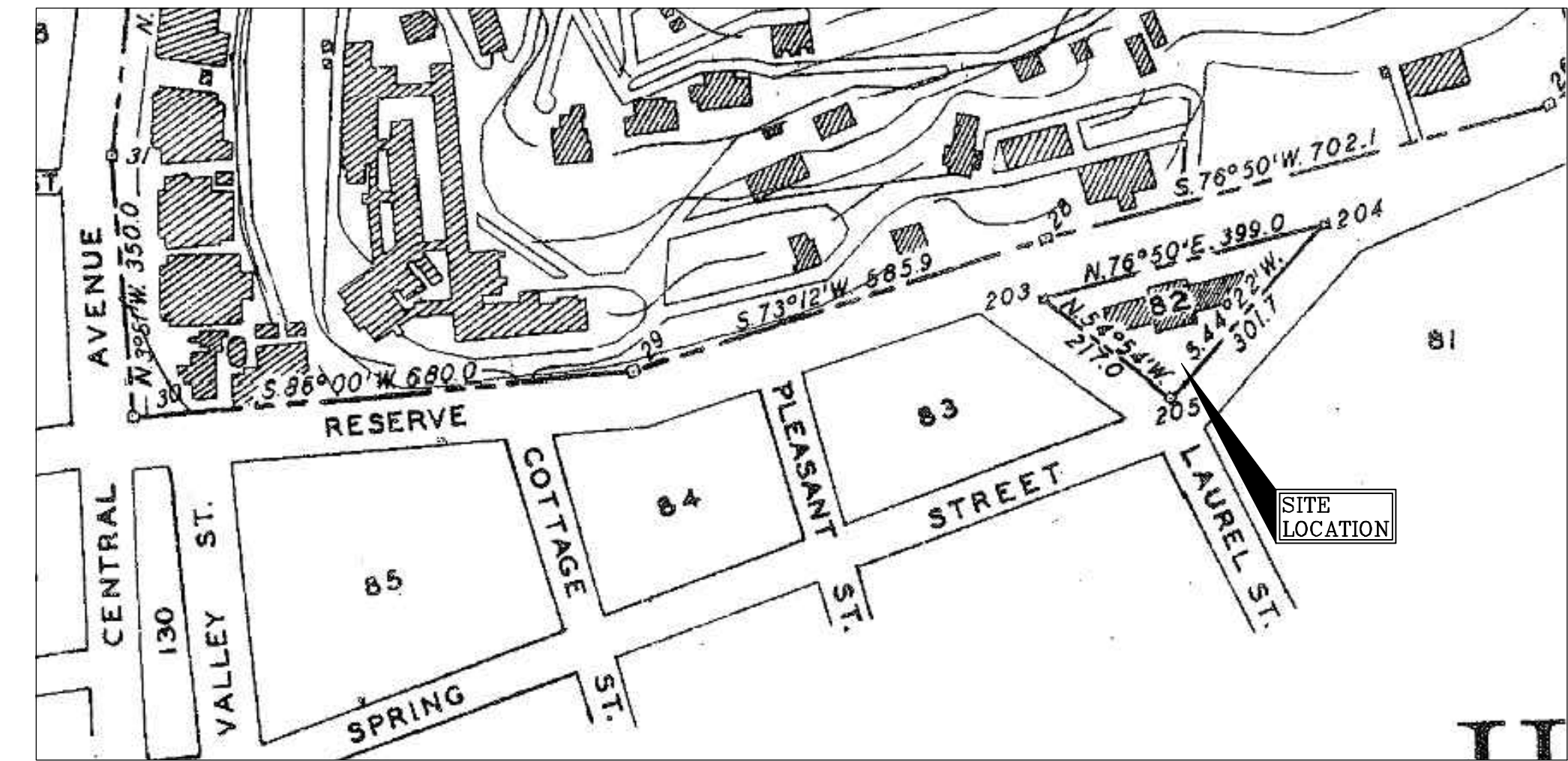
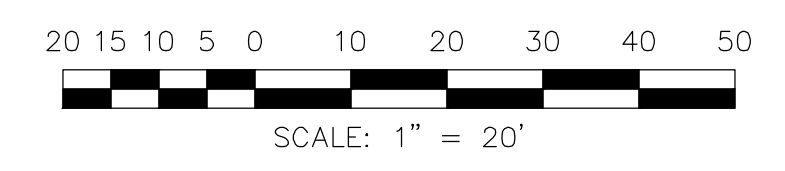


- NOTES:**
- THIS MAP REPRESENTS A TOPOGRAPHIC SURVEY FOR STRATA ARCHITECTURE AND PRESENTATION FOR THE PURPOSE OF ENGINEERING DESIGN OF SITE IMPROVEMENTS.
  - NORTH IS REFERENCED TO NAD83 (2011) AIR STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, U.S. SURVEY FEET AS DETERMINED BY GPS OBSERVATION.
  - ELEVATIONS ARE REFERENCED TO NAVD88 AS DETERMINED THROUGH GPS OBSERVATIONS.
  - UNDERGROUND UTILITIES ARE SHOWN BASED ON MARKINGS LEFT PURSUANT TO ARKANSAS ONE CALL LOCATE REQUEST TICKET NUMBER 220810-1854, GARLAND COUNTY, ARKANSAS GIS WEB SITE, AND ABOVE GROUND VISIBLE EVIDENCE. NO EXCAVATIONS WERE MADE DURING THE COURSE OF THIS SURVEY TO DETERMINE THE EXISTENCE OR ACCURATE LOCATION OF UNDERGROUND UTILITIES. FIELD VERIFY ALL UNDERGROUND FACILITIES PRIOR TO ANY EXCAVATIONS.
  - PROPERTY LINES SHOWN ARE BASED ON THE FINAL PLAT OF HOT SPRINGS NATIONAL PARK.
  - THIS PROPERTY LIES WITHIN THE CITY LIMITS OF HOT SPRINGS, ARKANSAS AND IS SUBJECT TO ZONING RESTRICTIONS FOR ZONE "R-4", MEDIUM/HIGH DENSITY RESIDENTIAL, PER TITLE 16 OF THE HOT SPRINGS CITY CODE, THE FOLLOWING RESTRICTIONS APPLY:
    - THE FRONT YARD SETBACK IS 25 FEET.
    - THE REAR YARD SETBACK IS 7.5 FEET.
    - THE SIDE YARD SETBACK IS 7.5 FEET.
    - MAXIMUM FLOOR TO AREA RATIO - 35%
  - THE SUBJECT PROPERTY LIES IN FLOOD ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, BASED ON GRAPHICAL MAPPING AND SCALING ONLY FROM F.E.M.A. FLOOD INSURANCE RATE MAP NO. 05051C0345D, LAST REVISED JANUARY 20, 2010.
  - FIELD WORK WAS COMPLETED AUGUST 16, 2022.
  - DRIP LINE MEASUREMENTS SHOWN HEREON REFLECT THE DISTANCE FROM THE TRUNK TO THE EDGE OF THE DRIP LINE.

- LEGEND**
- ⊠ DOWNSPOUT
  - △ SITE CONTROL AS NOTED
  - FOUND MONUMENT AS NOTED
  - △ CALCULATED POSITION
  - FLAG POLE
  - SIGN
  - TREE
  - SHRUB
  - ⊠ ELECTRIC BOX
  - ⊠ ELECTRIC METER
  - ⊠ HVAC UNIT
  - GUY WIRE
  - ⊠ LIGHT POLE
  - UTILITY POLE
  - TELEPHONE MANHOLE
  - ⊠ TELEPHONE PEDESTAL
  - ⊠ GAS METER
  - ⊠ GAS VALVE
  - STORM DRAIN MANHOLE
  - SEWER MANHOLE
  - CLEAN OUT
  - ⊠ WATER METER
  - ⊠ WATER VALVE
  - ⊠ FIRE HYDRANT
  - — — — — PROPERTY LINE
  - — — — — ROAD CENTERLINE
  - — — — — LOT LINE
  - - - - - UNDERGROUND SEWER
  - - - - - UNDERGROUND STORM DRAIN
  - - - - - OVERHEAD ELECTRIC
  - - - - - UNDERGROUND TELEPHONE
  - - - - - UNDERGROUND WATER
  - - - - - UNDERGROUND GAS LINE
  - - - - - MAJOR CONTOUR (5')
  - - - - - MINOR CONTOUR (1')

**BENCHMARK TABLE**

PT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
11	1985585.9740	996217.1650	630.96	TYSMAGNL
12	1985539.5180	996418.2030	622.66	TVS60PN
538	1985439.3870	996115.0630	621.14	TVS2MAGNL
818	1985437.1510	996332.7950	612.90	TVS2MAGNL



A/E FIRMS  
 PRIME/ARCH:  
 STRATA ARCHITECTURE  
 1101 GALE STREET  
 SUITE 100  
 KANSAS CITY, MO  
 64104-0000

CIVIL/SURVEY:  
 CRAFFON TULL  
 100 ARKANSAS ROAD  
 HOT SPRINGS, AR 71913  
 P.O. BOX 787-2586

DESIGNED: —  
 CADD: —  
 TECH. REVIEW: CJM  
 DATE: 10.27.2023

SUB SHEET NO.  
**02**  
**CO.0**

TITLE OF SHEET  
 LIBBEY PHYSICAL MEDICINE CENTER  
**TOPOGRAPHIC SURVEY**  
 REHABILITATE BATHHOUSES  
 HOT SPRINGS NATIONAL PARK

DRAWING NO.  
**128**  
**182951**  
 PMS/PKG NO.  
 318915  
 SHEET  
 197 OF 286