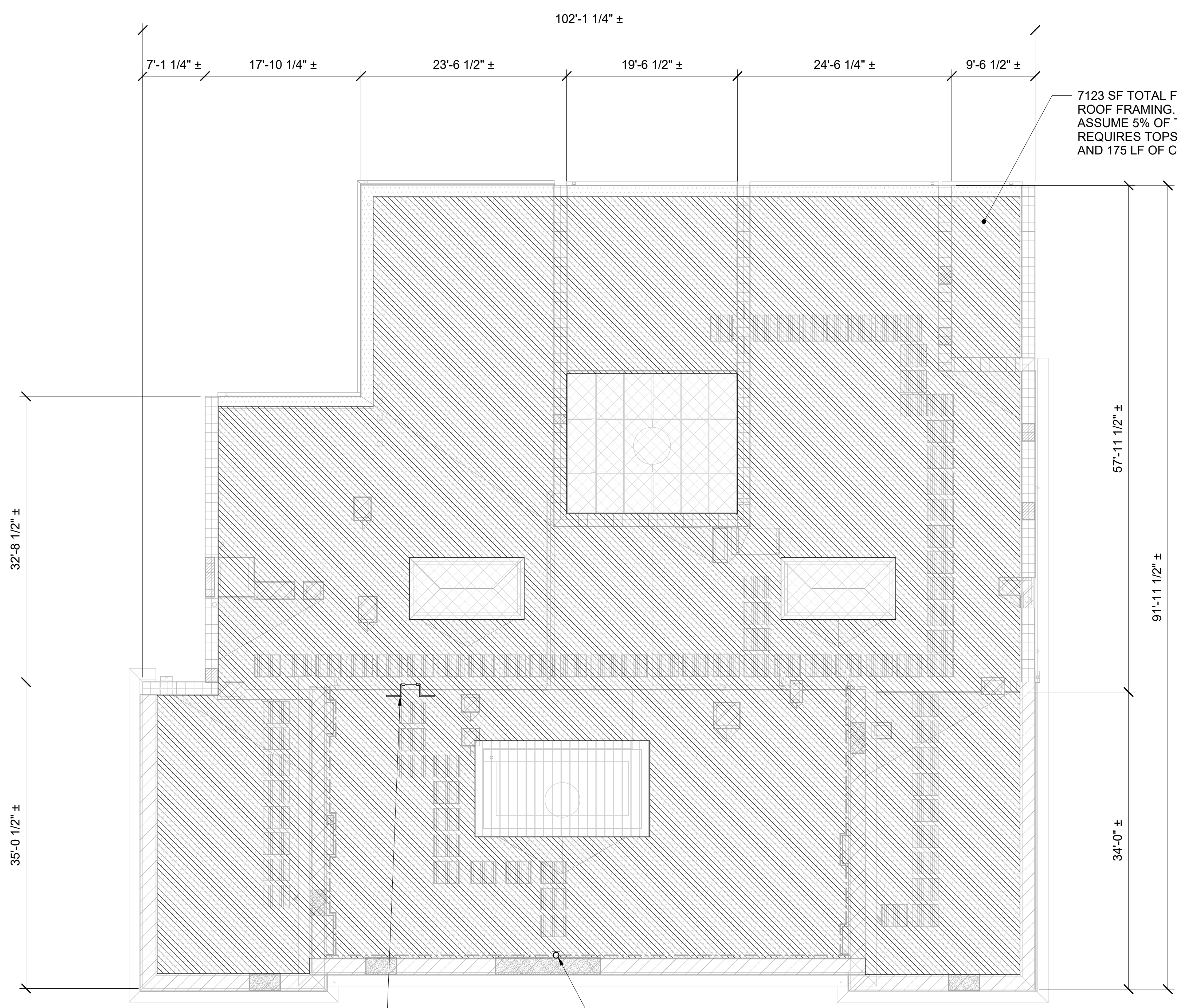


# GENERAL SHEET NOTES

1. QUANTITY DENOTES SQUARE FOOTAGE (SF) OR LINEAR FOOTAGE (LF) OF REPAIR UPON REPAIR TYPE. SEE REPAIR QUANTITIES ON S5.1 FOR TOTAL REPAIR AMOUNTS.
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS IN FIELD AND SHALL EXPOSE REPAIR AREAS DOWN TO SOUND CONCRETE PRIOR TO REPAIR INSTALLATION.
3. CONTRACTOR SHALL COORDINATE REPAIR WORK WITH MEANS AND METHODS AND SEQUENCE OF OTHER RENOVATION WORK/TRADES.
4. ROOF FRAMING REPAIRS INDICATED ON PLAN ARE INTENDED TO BE TOPSIDE REPAIRS.
5. CONTRACTOR TO VERIFY FIELD CONDITIONS AS ASSUMED PER CONTRACT DOCUMENTS. NOTIFY CONTRACTING OFFICER IMMEDIATELY WITH ANY DISCREPANCIES. CONTRACTOR TO REVIEW TO OCCUR PRIOR TO REPAIR WORK.
6. VERIFY ALL DIMENSIONS IN FIELD. COORDINATE ALL DIMENSIONS WITH ARCHITECT, CIVIL, MEP, AND OTHER PRIME CONTRACTORS.
7. UNIT PRICING SHALL BE PROVIDED FOR EACH REPAIR TYPE AND FINAL QUANTITIES RECONCILED WITH TABLE OF S5.1. COTR SHALL REVIEW GENERAL EXTENTS AND QUANTITIES OF REPAIRS WITH CONTRACTOR IN THE FIELD PRIOR TO REPAIR.

MASTER KEYNOTE LIST FOR REPAIRS	
KEY VALUE	REPAIR DESCRIPTION
C-4	SPALL, DELAMINATION, OR INADEQUATE COVER AT CONCRETE SLAB/WALL. REFER TO DETAILS 1, 2, & 3 ON S5.2 FOR EXPOSURE AND CONDITION OF STEEL REINFORCEMENT.
C-5	CRACK REPAIR, SEE 4 & 5 ON S5.2 BASED ON CRACK SIZE.

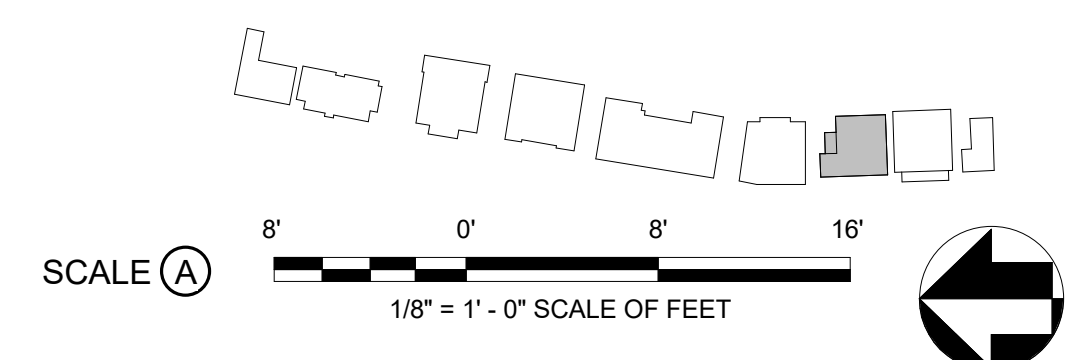


7123 SF TOTAL FOR CONCRETE ROOF FRAMING. FOR PRICING ASSUME 5% OF TOTAL AREA REQUIRES TOPSIDE C-4 REPAIR AND 175 LF OF C-5 REPAIR

EXISTING LADDER TO ACCESS THE HIGH ROOF SHALL BE REMOVED AND SIMILARLY REPLACED WITH PRECISION ALUMINUM LADDER INCLUDING ATTACHMENT BRACKETS. SEE ARCHITECTURAL FOR BASIS OF DESIGN PRODUCT DATA. ONCE LADDER IS REMOVED, SEAL OLD ANCHORAGE HOLES IN MASONRY. PROVIDE (8) 1/2" DIA. HILTI STAINLESS STEEL THREADED RODS IN TUBE SCREENS, EMBED 8". MINOR MASONRY WALL REPAIR MAY BE REQUIRED, SEE 1/S5.3 AND ARCH. DWGS. FOLLOW PRODUCT INSTALLATION INSTRUCTIONS; CONTRACTOR TO CENTER ANCHORS INTO THE MORTAR JOINTS TO MINIMIZE MASONRY DAMAGE WHERE POSSIBLE.

EXISTING FLAGPOLE MOUNT TO BE REMOVED AND REPLACED IN KIND WITH WALL-MOUNTED POLETECH PTV-10 BRACKETS WITH THROUGH BOLT ANCHORAGE INCLUDED. SEE ARCHITECTURAL FOR BASIS OF DESIGN PRODUCT DATA. SILMAN ASSUMES EQUIVALENT POLE HEIGHT, FLAG SIZE AND MOUNT LOCATION TO EXISTING CONDITIONS. MINOR PARAPET REPAIR MAY BE REQUIRED. SEE CONCRETE AND MASONRY DETAILS ON S5.X SERIES SHEETS.

**1** ROOF REPAIR PLAN  
S1.1 1/8" = 1'-0" SCALE (A)



A/E FIRMS ARCH: <b>QUINN EVANS</b> 219 1/2 N. MAIN STREET ANN ARBOR, MI T: 734.663.5888 ENG: <b>SILMAN</b> 211 W 4TH AVE. ANN ARBOR, MI T: 734.800.2460	DESIGNED: KH	SUB SHEET NO. <b>03</b> <b>S1.1</b>	TITLE OF SHEET <b>HOSP BUCKSTAFF + FORDYCE ROOFS</b> <b>ROOF REPAIR PLAN</b> REHABILITATE BATHHOUSES HOT SPRINGS NATIONAL PARK	DRAWING NO. <b>128</b> <b>182951</b>
	CADD: CM			PMIS/PKG NO. 318915
DATE: 10.27.2023			264 OF 286	

