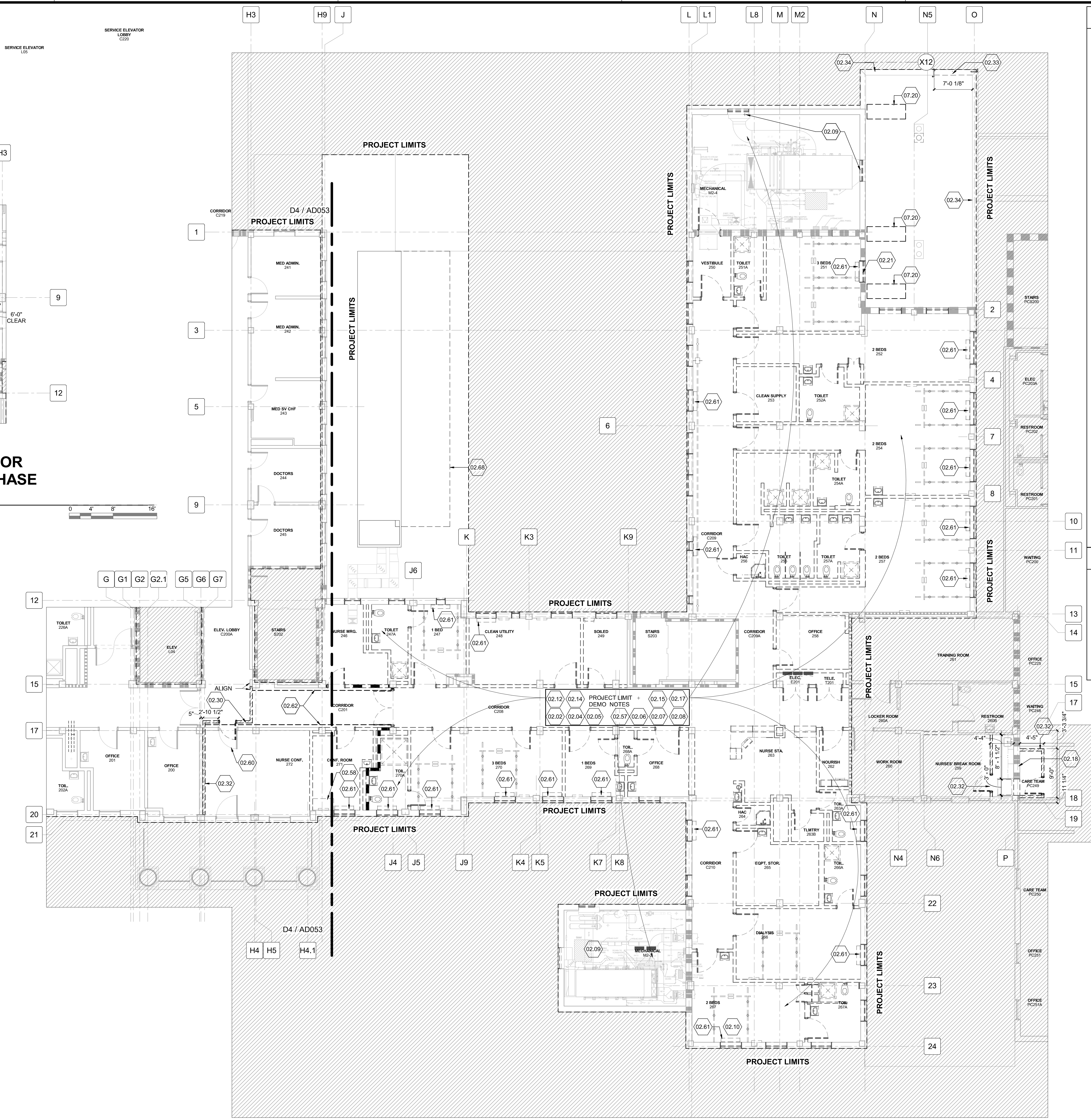


Scale bars and grid lines (1/8" = 1'-0") are present along the left and bottom margins of the drawing.

**PARTIAL SECOND FLOOR
DEMOLITION PLAN - PHASE
1A (WARD 2)**

B1
1/8" = 1'-0"



D3 PARTIAL SECOND FLOOR DEMOLITION PLAN WARD 2 - PHASE 1
1/8" = 1'-0"

GENERAL SHEET NOTES

NOTE: REFER TO ALL PHASING SHEETS. GENERAL CONTRACTOR SHALL ENSURE THAT ALL CONTRACTORS ARE RESPONSIBLE FOR COORDINATION ACROSS ENTIRE SET OF CONSTRUCTION DOCUMENTS.

A. DEMOLITION DRAWINGS ARE DIAGRAMMATIC AND DO NOT INTEND TO SHOW THE FULL EXTENT OF ALL AREAS EFFECTED BY UTILITY DEMOLITION AND RECONSTRUCTION. DEMOLITION SHALL INCLUDE ALL ITEMS INDICATED ON THE DEMOLITION PLANS AND ALL OTHER ITEMS REQUIRED TO BE DEMOLISHED TO ACCOMPLISH NEW CONSTRUCTION.

B. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING, PATCHING, AND REPAIR OF ALL EXISTING CONSTRUCTION AND FINISHES REQUIRED FOR THE DEMOLITION AND RECONSTRUCTION OF UTILITIES.

C. ALL PENETRATIONS REMAINING FROM DEMOLITION SHALL BE SEALED, AND IF IN ACUSTIC, SMOKE, AND / OR FIRE RATED CONSTRUCTION, SEALED TO MATCH THE RATING OF THE ADJACENT CONSTRUCTION, BY THE GENERAL CONTRACTOR. SEE ALL DISCIPLINES AND PHASING DRAWINGS FOR ADDITIONAL DEMOLITION, RECONSTRUCTION, AND PROTECTION INFORMATION.

D. VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE. PORTIONS OF EXISTING WALLS, CEILINGS, ETC. MAY HAVE BEEN PREVIOUSLY REMOVED.

E. UTILITY SHUTDOWN SHALL BE SCHEDULED WITH AND APPROVED BY COR WITH 2 WEEKS MINIMUM WRITTEN NOTICE.

F. CONTRACTOR SHALL COORDINATE WITH COR THE SCHEDULING OF NOISY OR OTHERWISE INTERRUPTIVE OPERATIONS TO MINIMIZE IMPACT ON THE MEDICAL CENTER. REPAIR AND REPLACE AND/OR PATCH ADJACENT FINISHES TO PROVIDE A SMOOTH AND CONTINUOUS FINISH.

G. DEMOLITION SHALL BE PHASED AND AFTER NORMAL BUSINESS HOURS TO ALLOW OWNER OCCUPANCY OF FLOORS ABOVE AND BELOW PROJECT AREA.

H. PROVIDE A SECURED CONSTRUCTION AREA FOR DURATION OF PROJECT.

I. REFER TO PHASING SHEETS FOR ADDITIONAL INFORMATION. ANY EXISTING CONSTRUCTION DEMOLISHED DURING DEMOLITION THAT IS NOT NOTED TO BE DEMOLISHED, BUT IS NOT IN USE OR INTENDED TO REMAIN IN USE, SHALL BE REMOVED IN ITS ENTIRETY TO THE POINT OF CONNECTION WITH EXISTING CONSTRUCTION TO REMAIN.

J. APPLY SELF-LEVELING COMPOUND AT ALL REMOVED WALLS. APPLY LEVELING COMPOUND AFTER FLOOR DEMO TO INFILL GUGGES, PITS, AND CRACKS. SCARIFY EXISTING SLAB.

K. CONTRACTOR TO ENSURE BEFORE ANY DEMOLITION STARTS THAT ALL IMPACTED SIGNAGE IN PROJECT LIMITS IS CAREFULLY REMOVED AND STORED AT A SAFE LOCATION FOR REUSE, PER COR.

L. REFER TO SHEET A4001 FOR GENERAL DEMOLITION NOTES.

M. REFER TO HA DRAWINGS FOR HAZARDOUS ABATEMENT.

N. SEE ELECTRICAL DRAWINGS FOR REQUIRED CIRCUIT TRACE REPORT. REPORT MUST BE SUBMITTED PRIOR TO DEMOLITION ACTIVITIES.

O. REPLACE CRACKED, CHIPPED OR FADED CEILING TILES WITH NEW MATCHING CEILING TILES. AFTER FINISHING WORK.

P. FOR DRYWALL CEILINGS, REMOVE PORTIONS OF DRYWALL TO PERFORM ABOVE CEILING WORK. REPLACE DRYWALL AND RUNNERS. INSTALL NEW TAPE AND MUD, THEN SAND AND PAINT.

Q. GC TO PROVIDE TEMPORARY SMOKE TIGHT CONSTRUCTION PARTITIONS TO SEPARATE ALL OCCUPIED AREAS FROM DEMOLITION AND CONSTRUCTION. PARTITIONS SHALL BE 1-HOUR FIRE-RATED FULL HEIGHT, EXTENDING THROUGH SUSPENDED CEILINGS TO THE FLOOR SLAB OR ROOF DECK. UNLESS SPRINKLERS ARE OPERATIONAL ON BOTH SIDES OF THE TEMPORARY PARTITION THEN PARTITION MAY BE PERMITTED TO TERMINATE AT THE CEILING.

R. GC TO PROVIDE ADHESIVE MAT FOR INFECTION CONTROL AT ALL ABANDONED THRU-WALL, PENETRATIONS, INFILL WITH MATCHING EXTERIOR FACE BRICK AND MORTAR. TOOTH IN BRICK TO MATCH EXISTING COURSING.

S. DEMO EXISTING TERRAZZO WALL BASE AND 12-INCH FLOOR PERIMETER IN PROJECT AREAS.

SHEET KEYNOTES

02.02 REMOVE EXISTING FLOORING IN ITS ENTIRETY INCLUDING ALL TRIM, ADHESIVES, GROUT, MORTAR, ETC., TO FINISH FLOOR SLAB. CLEAN EXISTING SLAB TO REMOVE ANY RESIDUAL MATERIAL THAT MAY BE DETRIMENTAL TO INSTALLATION OF NEW FLOORING. SEE DRAWINGS FOR EXTENTS.

02.04 REMOVE EXISTING EXTERIOR WINDOW IN ITS ENTIRETY INCLUDING FASTENERS, ANCHORS, FLASHING, INSULATION, ETC. REPAIR ALL DAMAGE TO EXISTING CONSTRUCTION THAT IS TO REMAIN, READY TO RECEIVE NEW CONSTRUCTION WITHIN PROJECT LIMITS / PHASE BOUNDARIES U.N.O.

02.05 REMOVE EXISTING WALLS IN THEIR ENTIRETY INCLUDING STRUCTURE, BRACING, FACINGS, FASTENERS, SEALANT, ETC. FROM FINISH FLOOR SLAB TO UNDERSIDE OF STRUCTURE ABOVE. REPAIR ALL DAMAGE TO EXISTING CONSTRUCTION THAT IS TO REMAIN, READY TO RECEIVE NEW CONSTRUCTION WITHIN PROJECT LIMITS / PHASE BOUNDARIES U.N.O.

02.06 REMOVE EXISTING DOOR(S) AND DOOR FRAME IN THEIR ENTIRETY INCLUDING REINFORCING, FASTENERS, ANCHORS, HARDWARE, ETC. REPAIR ALL DAMAGE TO EXISTING CONSTRUCTION THAT IS TO REMAIN, READY TO RECEIVE NEW CONSTRUCTION WITHIN PROJECT LIMITS / PHASE BOUNDARIES U.N.O.

02.07 REMOVE EXISTING PLUMBING FIXTURE(S) IN THEIR ENTIRETY INCLUDING ALL ANCHORS, FLANGES, PIPING, ETC. REPAIR ALL DAMAGE TO EXISTING CONSTRUCTION THAT IS TO REMAIN, READY TO RECEIVE NEW CONSTRUCTION WITHIN PROJECT LIMITS / PHASE BOUNDARIES U.N.O.

02.08 REMOVE EXISTING CASEWORK & FURNITURE IN ITS ENTIRETY INCLUDING ALL ANCHORS, FASTENERS, CONDUIT, ETC. REPAIR ALL DAMAGE TO EXISTING CONSTRUCTION THAT IS TO REMAIN, READY TO RECEIVE NEW CONSTRUCTION AS SHOWN ON DRAWINGS WITHIN PROJECT LIMITS / PHASE BOUNDARIES U.N.O. AND APPROVED BY COR.

02.09 REMOVE EXISTING MECHANICAL ROOM LOUVERS IN ITS ENTIRETY INCLUDING FASTENERS, ANCHORS, FLASHING, INSULATION, ETC. REPAIR ALL DAMAGE TO EXISTING CONSTRUCTION THAT IS TO REMAIN, READY TO RECEIVE NEW CONSTRUCTION WITHIN PROJECT LIMITS / PHASE BOUNDARIES U.N.O. INSTALL NEW LOUVER IN ORIGINAL OPENING.

02.10 EXTERIOR CHUTE LOCATION - THIS PHASE.

02.12 COORDINATE W/ COR ABOUT RE-USE OF PATIENT ROOM LIGHTS IN ADVANCE OF REMOVING EXISTING CLG. REMOVE EXISTING CLG IN ITS ENTIRETY INCLUDING ALL SUPPORTS AND FASTENERS. REPAIR ALL DAMAGE TO EXISTING CONSTRUCTION THAT IS TO REMAIN, READY TO RECEIVE NEW CONSTRUCTION.

02.14 REMOVE EXISTING COLUMN FURRING AND COVER MATERIAL IN THEIR ENTIRETY, INCLUDING ANCHORS, SEALANT, ADHESIVE, ETC. REPAIR ALL DAMAGE TO EXISTING CONSTRUCTION THAT IS TO REMAIN, READY TO RECEIVE NEW CONSTRUCTION.

02.15 REMOVE EXISTING ACCESS DOOR IN ITS ENTIRETY INCLUDING FASTENERS, ANCHORS, ETC., READY TO RECEIVE NEW CONSTRUCTION. COVER OPENING TO PIPE CHASE AFTER REMOVAL UNTIL NEW WORK BEGINS.

02.17 REMOVE ELECTRICAL DEVICES IN EXISTING WALL FOR INSTALLATION OF NEW WALL FINISHES. RESET EXISTING DEVICES IN WALL AFTER INSTALLATION FINISHES.

02.18 CUT OPENING IN EXISTING WALL TO RECEIVE NEW DOOR/WINDOW AS SCHEDULED. SEE STRUCTURAL FOR LINTEL INFORMATION.

02.19 TEMPORARY BARRIER SYSTEM PROVIDED BY GC EXTENTS SHOWN (GC MUST COORDINATE WITH MECHANICAL DRAWINGS SEE SHEET MH102 ABOVE CEILING WORK ONLY). UPON PROJECT COMPLETION, GC TO DISMANTLE, PACKAGE AND DELIVER TEMPORARY COMPONENTS TO VA. BASIS OF DESIGN: EDGE GUARD <http://www.edge-guard.com/>

02.21 REMOVE EXISTING WINDOW AND CUT OPENING IN EXISTING WALL BELOW, TO RECEIVE NEW EXTERIOR DOOR. FILL OPENING BETWEEN EXISTING LINTEL AND NEW DOOR, AND PROVIDE NEW BRICK VENEER TO MATCH EXISTING. SEE SPEC SECTION 055000 FOR LINTEL. TOOTH NEW BRICK TO EXISTING WALL FOR INTEGRATED CONSTRUCTION.

02.30 INSTALL NEW TEMPORARY 1 HOUR RATED WALL AND 3/4 HOUR RATED 3'-0" x 7'-0" DOOR.

02.32 LOCATION OF TEMPORARY BARRIER WALL, TO BE FURNISHED BY GC.

02.33 REMOVE PORTION OF EXISTING PARAPET/ROOF CURB. SEE DETAILS ON SHEET AE460.

02.34 PREP EXISTING PARAPET/ROOF CURB TO RECEIVE NEW 42" HIGH GUARDRAIL. SEE DETAILS ON SHEET AE460. GC TO FIELD-VERIFY HEIGHT OF PARAPET/ROOF CURB.

02.57 REMOVE EXISTING TERRAZZO BASE AT CORRIDOR AND ALL ROOM WALLS, PREPARE FLOOR FOR NEW FINISHES.

02.58 REMOVE EXISTING STEEL PLATE AND PREPARE FLOOR TO RECEIVE NEW FINISHES.

02.60 REMOVE DOOR PANEL DURING THIS PHASE OF CONSTRUCTION, SAFELY STORE AND REINSTALL ONCE CONSTRUCTION PHASE HAS BEEN COMPLETED.

02.61 CONTRACTOR SHALL PATCH ALL PIPE PENETRATIONS OF THE FLOOR SLAB. REFER TO DETAIL D1 ON SHEET AE501.

02.62 DEMO EXISTING TERRAZZO BASE AND FLOOR PERIMETER ON BOTH SIDES OF WALL TO PREPARE FOR NEW CONSTRUCTION.

02.68 AREA WHERE TEMP AHJ B AND ROOF ACCESS PATH ARE TO BE INSTALLED.

SYMBOLS LEGEND

INDICATES AREA NOT IN SCOPE OF WORK

PARTITION GRAPHICS

PARTITION PHASING

- EXISTING ELEMENT TO REMAIN
- EXISTING ELEMENT TO BE DEMOLISHED
- TEMPORARY 1-HOUR RATED ELEMENT TO BE CONSTRUCTED AND DEMOLISHED IN SAME PHASE

PARTITION RATING

- NO RATING
- SMOKE RESISTIVE PARTITION - NON RATED
- 1 HOUR FIRE BARRIER
- 1 HOUR FIRE/SMOKE BARRIER
- 2 HOUR FIRE BARRIER
- 2 HOUR FIRE/ SMOKE BARRIER

KEY PLAN

PLAN NORTH TRUE NORTH

THIRD FLOOR FFE: 1505.0'
SECOND FLOOR FFE: 1493.0'
FIRST FLOOR FFE: 1479.0'

Revisions:		
No.	Description	Date

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HG PROJECT: 18002
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Project Title:
**PARTIAL SECOND FLOOR
DEMOLITION PLAN WARD 2 -
PHASE 1**

Project Phase:
BID DOCUMENTS

FULLY SPRINKLERED

Project Title:
**RENOVATE MED SURGE
WARDS**

Location:
VETERANS HEALTHCARE SYSTEM
OF THE OZARKS

Date:
MARCH 24, 2024

Checked:
JC/LK

Drawn:
MS

Project Number:
564-17-140

Building Number:
1

Drawing Number:
AD052

Sheet **34** of **162**

Engineering Service

VETERANS HEALTH CARE SYSTEM
OF THE OZARKS

VA U.S. Department
of Veterans Affairs