

VOLUME 3  
BENTONVILLE SCHOOL DISTRICT #6

# BWHS - DEN Remodel

1355 GAMBLE ROAD, CENTERTON, ARKANSAS

Issue Date: 02/02/2026

Project No.: 2421

30% REVIEW SET

**CIVIL ENGINEER:**

HALFF ENGINEERS  
2407 SE COTTONWOOD ST. #1  
BENTONVILLE, AR

**STRUCTURAL ENGINEER:**

TATUM-SMITH-WELCHER ENGINEERS  
3100 S MARKET ST  
SUITE 202  
ROGERS, AR 72758

**MECHANICAL / ELECTRICAL ENGINEER:**

HSA ENGINEERING  
7405 ELLIS ST  
FORT SMITH, AR 72916

Drawing Index

- ARCHITECTURAL
- A2.0 DEMOLITION PLAN
- A2.1 FIRST FLOOR PLAN
- A2.2 SPECIALTY FLOOR PLANS
- A2.4A REFLECTED CEILING PLANS
- A3.0 DOOR SCHEDULE / DOOR / WINDOW / FRAME ELEVATIONS / DETAILS
- A6.1 MILLWORK ELEVATIONS / DETAILS

# Hight Jackson

ASSOCIATES

5201 W Village Parkway, Suite 300 | Rogers, Arkansas 72758 | (479) 464-4965 | www.hjarch.com

A QUALITY CONTROL CHECK, INCLUDING THE APPROPRIATE COORDINATION AMONG DISCIPLINES, HAS BEEN MADE ON THIS PROJECT'S DOCUMENTS, AND CORRECTIONS RELATED TO THIS CHECK HAVE BEEN MADE. THE UNDERSIGNED PRINCIPAL OWNER STATES THAT THESE PLANS AND SPECIFICATIONS AS SUBMITTED FOR REVIEW ARE, TO THE BEST OF HIS OR HER KNOWLEDGE AND ABILITY, COMPLETE AND READY FOR REVIEW.



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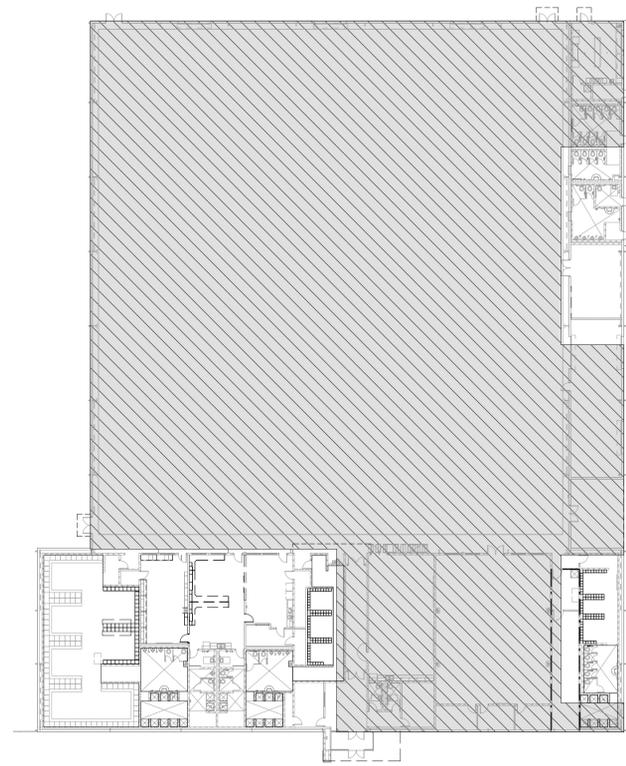
General Demolition Notes

- DEMOLITION NOTES ARE PROVIDED TO EXPLAIN THE ITEMS TO BE REMOVED, RELOCATED, AND/OR MODIFIED IN ORDER TO FACILITATE THE REMODEL AND NEW CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE DEMOLITION AND PATCH ITEMS, SURFACES AND AREAS AS REQUIRED TO PROVIDE NEW WORK OR TO INSTALL NEW ITEMS WHERE CALLED FOR ON THE DRAWINGS AND SPECIFICATION.
- PRIOR TO DEMOLITION AND CONSTRUCTION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION AND CONDITION OF ALL EXISTING UTILITIES AND ELECTRICAL ITEMS (EXTERIOR AND INTERIOR) ON THE SITE AND WITHIN THE EXISTING BUILDING(S).
- CONTRACTOR TO COORDINATE WITH OWNER THE REMOVAL OF ALL ITEMS OWNER WISHES TO SALVAGE FROM EXISTING REMODEL AREAS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR TO STORE CLASSROOM SUPPLIES DURING PHASE REMODEL.
- CONTRACTOR TO VERIFY ALL UTILITY CONDITIONS. REMOVAL AND REPLACEMENT OF ANY UTILITY LINE OR CONDUIT REQUIRED TO INSTALL NEW WORK TO BE INCLUDED AS PART OF THIS BID.
- PROTECT ALL PLUMBING, MECHANICAL, ELECTRICAL, DATA EQUIPMENT, AND OTHER ITEMS NOTED OR INDICATED TO REMAIN. REFER TO PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL NOTES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PAY FOR AND REPAIR OR REPLACE ANY ITEMS DAMAGED DURING WORK TO LIKE-NEW CONDITION PRIOR TO PROJECT CLOSE-OUT.
- REFER TO SECTIONS, PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION NOTES AND INFORMATION.
- REPORT ANY DISCREPANCIES IMMEDIATELY TO ARCHITECT.
- SAW CUT AND REMOVE SECTIONS OF EXISTING SLABS AND EXISTING SIDEWALKS AS REQUIRED TO INSTALL NEW WORK. PATCH AND REPAIR EXISTING SLABS AND SIDEWALKS AS REQUIRED.
- REPAIR EXISTING WALLS AT LOCATIONS OF ANY DEMOLISHED PORTIONS OF WALLS AND DOOR FRAMES AS REQUIRED FOR NEW SURFACE AND FINISH.
- REMOVE EXISTING WALL FINISHES AS REQUIRED FOR NEW PAINT. RE- SPECIALTY PLANS
- REMOVE EXISTING LIGHTS RE- REFLECTED CEILING PLAN. REFER TO ELECTRICAL/LIGHTING PLAN FOR ADDITIONAL NOTES.
- REFER TO M.E.P DEMOLITION PLANS AND NOTES FOR ADDITIONAL REMOVAL AND/OR RELOCATION OF SYSTEMS NOT NOTED IN ARCHITECTURAL
- REPAIR WALLS AT LOCATIONS OF ANY REMOVED MECHANICAL, ELECTRICAL OR PLUMBING ITEMS. **EDIT ACCORDING TO THE PROJECT** REMOVE IN SAME MATERIAL AS ADJACENT SURFACES TO NEW CONDITION. PAINT AS REQUIRED. WHERE ITEM IS REMOVED IN AREAS OF CMU, FILL IN WITH CMU TO MATCH COURSING.
- REMOVE ALL EXISTING COUNTERTOPS, MILLWORK, CABINETS, SHELVES, AND HOOKS
- REMOVE PARTS OF EXISTING WALLS TO INSTALL NEW PLUMBING, ELECTRICAL, ETC. REFER TO M.E.P PLANS FOR NEW M.E.P LOCATIONS. REPAIR WALLS BACK TO FINISH CONDITIONS FOR PAINTING.
- DEMOLISH ALL PROJECTOR CEILING PLATES, PROJECTORS, SMARTBOARDS AND RAPID RUN CABLES.
- REMOVE MARKER BOARD, TACK BOARD, AND TACK STRIPS, PATCH WALLS AND REPAIR FOR FINAL FINISH SURFACE LIKE NEW.
- REMOVE ANY MOVABLE ITEMS SUCH AS SHELVING, FURNITURE, ETC. THAT HAS NOT BEEN REMOVED BY THE OWNER COORDINATE WITH OWNER.
- OWNER HAS PERFORMED ABATEMENT REMOVAL OF VCT FLOOR COVERING, NOTIFY CONTRACTOR AND ARCHITECT IF YOU SUSPECT ASBESTOS MATERIAL
- ALL CRACKS, VOIDS, HOLES, ETC. IN CMU WALLS TO BE REPAIRED TO RECEIVE NEW FINISH. RE- FINISH LEGEND AND SPECIALTY PLAN
- REMOVE EXISTING BLINDS AND INSTALL NEW ROLLER SHADES AT ALL WINDOWS IN PROJECT. RE- SPECIALTY PLANS
- REMOVE AND REPLACE ROOFS WHERE NOTED. REFER TO ROOF DEMO PLAN
- REMOVE ALL METAL ITEMS ASSOCIATED WITH ROOF REPLACEMENT. REFER TO ROOF DEMO PLAN.
- REMOVE AND PROTECT EXISTING ROOM SIGNAGE NOTED FOR REINSTALL ON SPECIALTY PLANS. DEMOLISH ALL EXISTING ROOM SIGNS NOT NOTED FOR REINSTALL.
- MODIFY, EXTEND, OR SHORTEN EXISTING SANITARY SEWER AND WATER LINES AS REQUIRED TO INSTALL NEW WORK RE- PLUMBING DRAWINGS.
- REFER TO HVAC PLANS FOR REUSE, REMOVAL AND REPLACEMENT OF EXISTING EQUIPMENT. PATCH AND REPAIR ALL EXISTING WALLS, FLOORS AND ROOFS AS REQUIRED AFTER REMOVAL OR INSTALLATION.

- PATCH AND REPAIR, PLUG HOLES, REMOVE UNNECESSARY HARDWARE AND STICKERS (NOT UL LABELS) AT EXISTING HM DOORS AND FRAMES FOR NEW PAINT AND HARDWARE AS NOTED, RE SPECIALTY PLAN AND DOOR SCHEDULE/TAGS.
- DURING SLAB DEMOLITION FOR NEW CONSTRUCTION, CONSTRUCTION MANAGER TO VERIFY SLAB THICKNESS AND REPORT TO ARCHITECT.
- ALL WALL SURFACES AFFECTED BY DEMO OR NEW WORK MUST BE REPAIRED FOR FINAL FINISH SURFACE RE- SPECIFICATION SECTION 092900 FOR TEXTURE REQUIREMENTS AT PAINTED GYP. BD. WALLS
- REMOVE EXISTING DOWNSPOUTS, GUTTERS AND FASCIA AND REPLACE WITH NEW AT ALL LOCATIONS UNLESS NOTED OTHERWISE. REFER TO ROOF DEMO PLAN.
- DEMOLISH ALL PENCIL SHARPENERS.
- CAP OFF ALL UNUSED PLUMBING PIPING AND ELECTRICAL LINES BELOW FLOOR SLAB, ABOVE CEILING OR WITHIN WALLS AS ALLOWED BY CODE. PATCH OR INFILL AREAS AS REQUIRED. RE-MEP
- REMOVE ALL SURFACE MOUNT, JUNCTION BOXES, CONDUIT, AND WIREMOLD, RE-ELECT.
- AT EXTERIOR LIGHT REMOVAL/REPLACE, TOOTH IN BRICK AS REQUIRED TO FILL ANY HOLE BEHIND LIGHT FIXTURE.
- REMOVE ALL EXIT LIGHTS AND REPLACE WITH NEW AT CURRENT LOCATIONS UNLESS NOTED OTHERWISE.
- REMOVE AND PROTECT "IN GOD WE TRUST SIGNS" FOR REINSTALL.
- REMOVE AND PROTECT "AMERICAN FLAGS" FOR REINSTALL.
- REMOVE ALL UNUSED WALL LOUVERS AT EXTERIOR BRICK TOOTH IN NEW BRICK COLOR AND COURSING TO MATCH EXISTING. AT INTERIOR BRICK AND CMU, TOOTH IN NEW MASONRY TO MATCH ADJACENT CONDITIONS.
- REMOVE ALL EXISTING TV'S. REPAIR WALL TO LIKE NEW CONDITION FROM TV BRACKET REMOVAL.
- REMOVE ALL UNUSED EQUIPMENT AND SYSTEMS SUCH AS CORRIDOR BELLS, INTERCOM STATIONS, OCCUPANCY SENSORS, FIRE ALARM DEVICES ETC. NO LONGER IN USE AFTER IMPLEMENTATION OF NEW SYSTEMS. PATCH ALL WALLS TO MATCH ADJACENT WALL SURFACE AFTER REMOVAL.
- REMOVE ALL PROJECTION SCREENS, ROLL-UP WALL MOUNTED MAPS AND PULL DOWNS.
- REMOVE ALL CABLING EXCEPT SECURITY CAMERA CABLING. CABLING TO BE REMOVED PER CONSTRUCTION PHASING DO NOT LEAVE UNUSED CABLING.
- REMOVE ALL OLD ANCHORS, BRACKET, SCREENS ETC. FROM EXISTING WALLS. PATCH ANY REMAINING HOLES TO CREATE LIKE NEW WALL FOR NEW PAINT APPLICATION.
- ALL EXPOSED CAPPED PLUMBING LINES TO BE TERMINATED WITHIN WALL OR OVERHEAD, REPAIR WALL TO CREATE LIKE NEW WALL FOR NEW FINISHES/PAINT APPLICATION.
- REMOVE ALL EXISTING PLASTIC LAMINATE OR WOOD WINDOW SILLS AND PREP FOR INSTALLATION OF NEW PLASTIC LAMINATE SILLS.
- REMOVE EXISTING METAL SOFFIT
- REMOVE EXISTING RESTROOM MIRRORS
- REMOVE ALL EXISTING RUBBER BASE
- ANY INTERRUPTION IN SERVICES MUST BE COORDINATED WITH OWNER PRIOR TO SHUT OFF.
- REMOVE ALL TECTUM UPPER WALL FUR DOWNS AND WOOD TRIM, PREP FOR METAL STUD FRAMING INSTALL.
- SALVAGE ALL TOILET AND URINAL PARTITIONS AND RETURN TO SCHOOL DISTRICT.
- EXISTING FIRE EXTINGUISHER CABINETS TO BE REMOVED. PREP WALL AT SAME LOCATION TO INSTALL NEW FIRE EXTINGUISHER CABINET WITH HANDLE NO HIGHER THAN 48". FIRE EXTINGUISHER MAYBE RE- INSTALLED ONCE TESTED AND TAGGED.
- DEMOLISH EXISTING FLAGPOLE.
- REMOVE ALL SURFACE MOUNT CONDUIT, JUNCTION BOXES AND WIREMOLD. REFER TO ELECTRICAL FOR REPLACEMENT INSTRUCTION.
- REPAIR WALLS TO LIKE NEW CONDITION AT ANY REMOVED SURFACE APPLIED PRODUCTS. REMOVE ANY ADHESIVE OR INCONSISTENT TEXTURE FROM WALL. REPAIR MASONRY JOINTS
- REPAIR WALLS TO LIKE NEW CONDITION FROM ANY REMOVED WALLS OR VENEER. TUCKPOINT AND RE-POINT MASONRY JOINTS TO TOOLED JOINT TO MATCH ADJACENT. REMOVE ANY EXCESS MORTAR OR WIRE TIES FOR SMOOTH WALL CONDITION READY FOR PAINTING.
- REMOVE LOUVER TRANSOM GLASS AND ALUMINUM FRAME FROM ALL DOOR FRAMES. GLASS STOP HOLLOW METAL FRAME TO REMAIN.

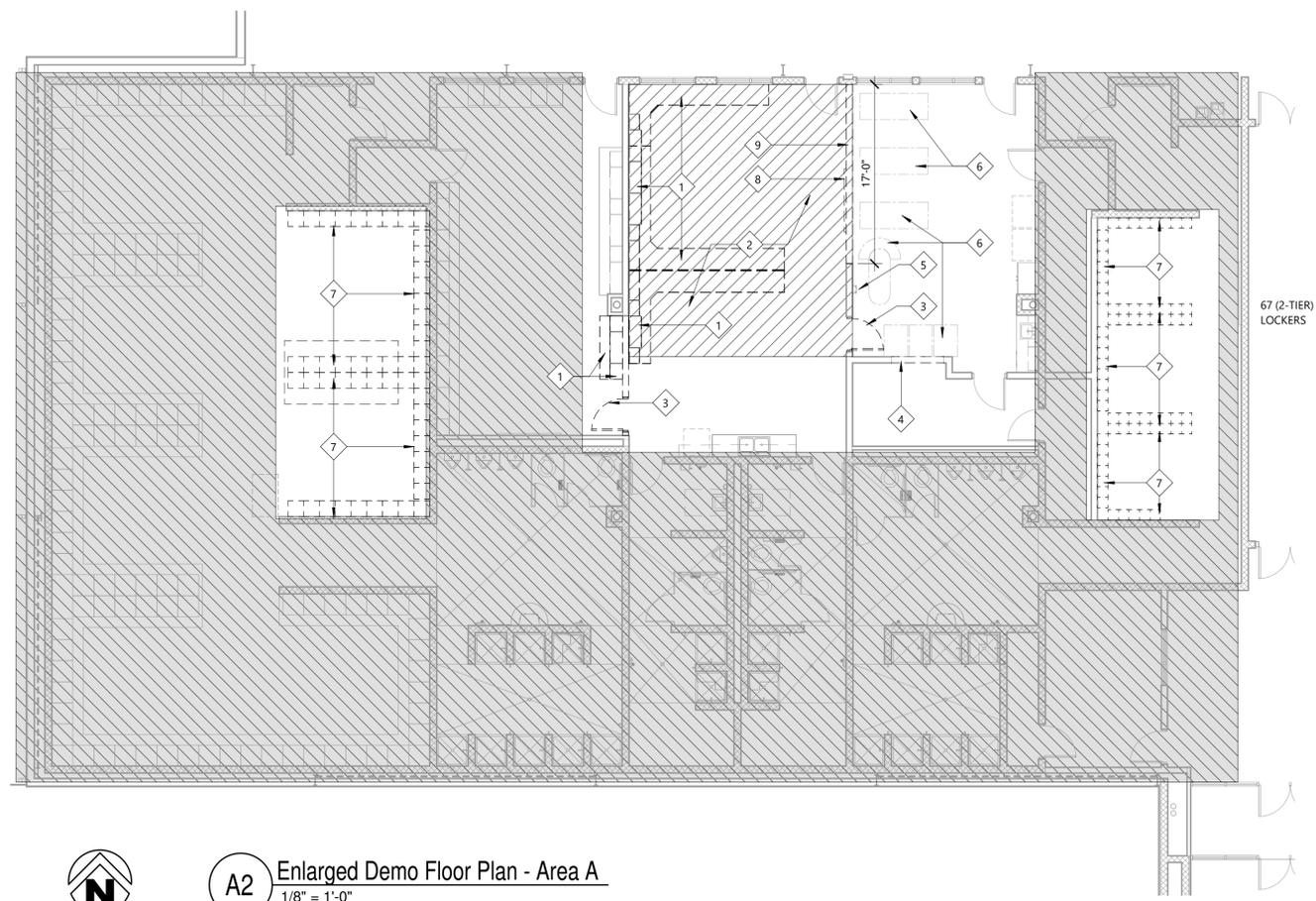
DEMOLITION KEYED NOTES

#	Description
1	REMOVE MILLWORK, PATCH WALL AND FLOORING AND REPAIR AS NEEDED FOR NEW CONSTRUCTION
2	DEMO EXISTIN CEILING AND PREPARE FOR NEW CEILING INSTALLATION. REFER TO RCP PLANS FOR EXTENTS AND NEW CEILING WORK.
3	DEMO EXISTING DOOR, FRAME, AND HARDWARE.
4	DEMO A PORTION OF EXISTING STUD WALL AND PREPARE OPENING FOR NEW WINDOW INSTALLATION.
5	PROTECT EXISTING HOT AND COLD WATER MIXING VALVE
6	ALL EXISTING TRAINING ROOM FURNITURE SHALL BE PROTECTED DURING DEMOLITION AND REINSTALLED IN THE NEW TRAINING ROOM AS DIRECTED BY OWNER.
7	REMOVE EXISTING LOCKERS AND PREPARE AREA FOR NEW INSTALLATION.
8	DEMO EXISTING MARKER BOARD
9	DEMO EXISTING STUD WALL AND ALL ATTACHED MATERIALS, INCLUDING FASTENERS AND FINISHES; CLEAN AND PREP SUBSTRATE/FLOOR
10	REMOVE MILLWORK, PATCH WALL AND FLOORING AND REPAIR AS NEEDED FOR NEW CONSTRUCTION
11	DEMO A PORTION OF EXISTING CMU WALL AND PREPARE OPENING FOR NEW DOOR INSTALLATION.

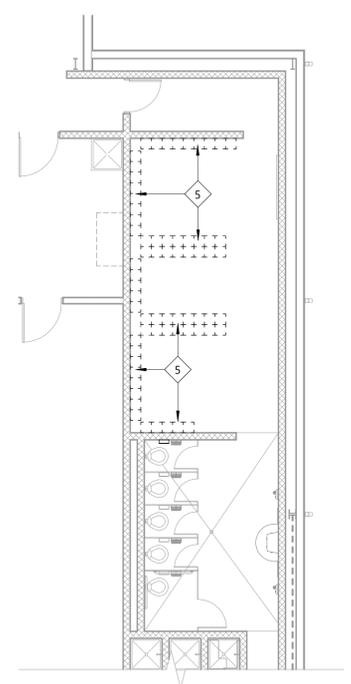


H13 First Floor Plan Demo  
1/32" = 1'-0"

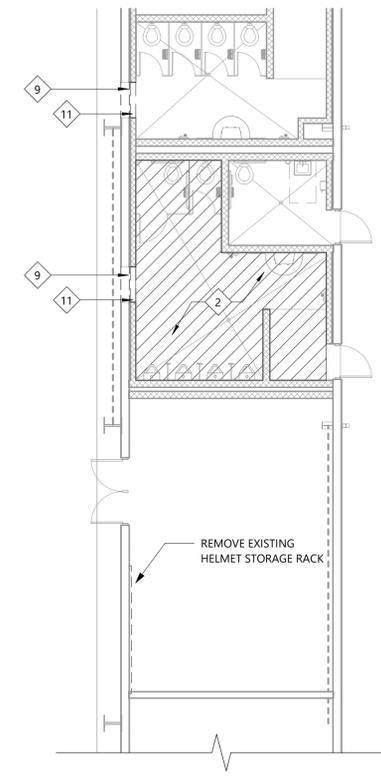
Ref: 2/ A5.1



A2 Enlarged Demo Floor Plan - Area A  
1/8" = 1'-0"



A9 Enlarged Demo Floor Plan - Area B  
1/8" = 1'-0"



A12 Enlarged Demo Floor Plan - Area C  
1/8" = 1'-0"

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DRAWN BY: MS  
CHECK BY: TS  
ISSUE DATE: 02/02/2026  
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DEMOLITION PLAN  
SHEET  
A2.0  
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**SYMBOL LEGEND**

DRAWING NUMBER BASED ON SHEET GRID  
 DRAWING TITLE  
**A1** Floor Plan  
 1/8" = 1'-0" Ref: A1/A2.2  
 DRAWING SCALE  
 BACK REFERENCE TO PARENT DRAWING  
 NORTH ARROW  
 WINDOW MARK  
 ROOM NUMBER AND NAME  
 ELEVATION MARK IN PLAN  
 FINISH FLOOR ELEVATION MARK SECTION AND ELEVATION

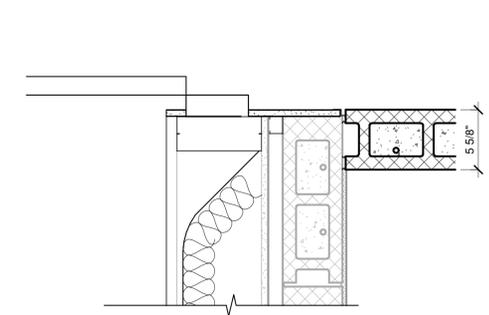
**DOOR MARK DIAGRAM**  
 DOOR NUMBER: D135  
 DOOR TYPE: F 7  
 HARDWARE SET: X 0  
 (NA=RE-ALLOWANCE)  
 INTERIOR ELEVATION MARK  
 MILLWORK ELEVATION  
 BUILDING ELEVATION MARK  
 SECTION OR DETAIL NUMBER  
 SHEET NUMBER  
 WALL SECTION

**WALL LEGEND**

**WALL AND PARTITION MATERIALS**

- 3 5/8" METAL STUD WALL
- 6" METAL STUD WALL
- 6" CMU BLOCK WALL
- 8" CMU BLOCK WALL
- METAL BUILDING: BYPASS GIRTS
- METAL BUILDING: INLINE GIRTS

**FIRE RATED WALLS:**  
 REFER TO SHEET A1.1-FIRST FLOOR CODE PLAN FOR RATED WALLS



**K6** Enlarged Plan Detail  
 1 1/2" = 1'-0" Ref: F13/ 0.00

**GENERAL NOTES:**

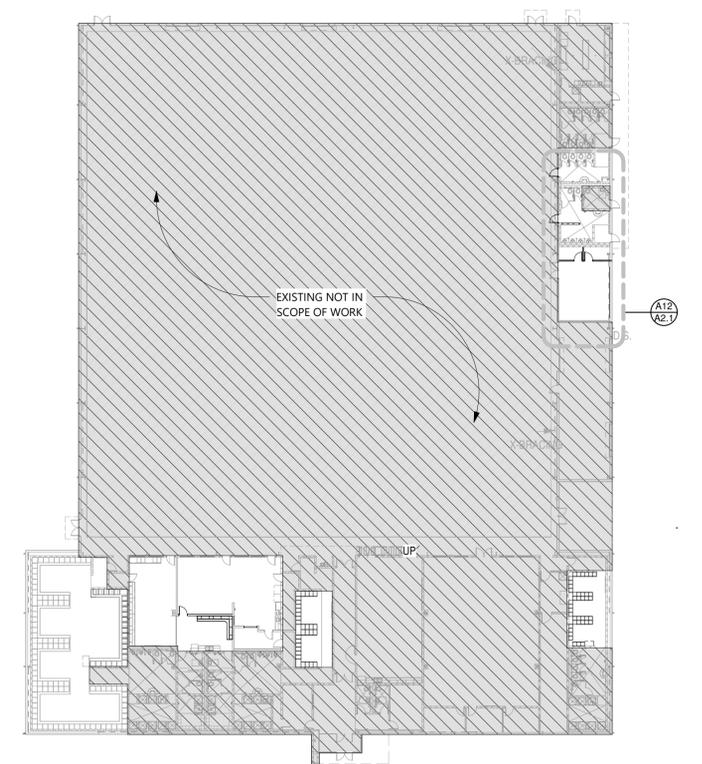
- ALL DIMENSIONS ARE TO BE FROM FACE OF STUD OR BLOCK UNLESS NOTED OTHERWISE.
- FURNITURE AND EQUIPMENT SHOWN DASHED ON PLANS ARE N.I.C. (NOT IN CONTRACT) U.N.O. (UNLESS NOTED OTHERWISE)
- PROVIDE CONTROL JOINTS IN ALL MASONRY VENEER AS SHOWN ON BUILDING ELEVATIONS, PLANS AND SPECIFIED. CONTROL JOINTS SHALL NOT EXCEED 24'-0" O.C.
- PROVIDE 6" (R19) FACED BATT INSULATION AT ALL EXTERIOR STUD WALLS AND SOFFITS AT CONVENTIONAL FRAMING AREA (EAST ENTRY & SOUTH ENTRY).
- PROVIDE DEFLECTION TRACK AT ALL NON-LOAD BEARING WALLS THAT EXTEND TIGHT TO STRUCTURE OR ROOF DECK.
- COMPLY WITH STATE OF ARKANSAS ADOPTED ADA GUIDELINES AND ANSI 117.2003 IN REGARD TO ACCESSIBILITY OR HANDICAPPED FEATURES.
- ALL RATED WALLS TO BE IDENTIFIED AT TOP OF WALL (ABOVE CEILING) WITH PAINTED STENCILED TEXT TO READ "X HR RATED WALL" PROVIDE CORRECT HOUR RATING IN PLACE OF "X". TEXT HEIGHT TO BE MINIMUM 2" AT INTERVALS OF EVERY 10' LINEAR.

**METAL STUD GAGES**

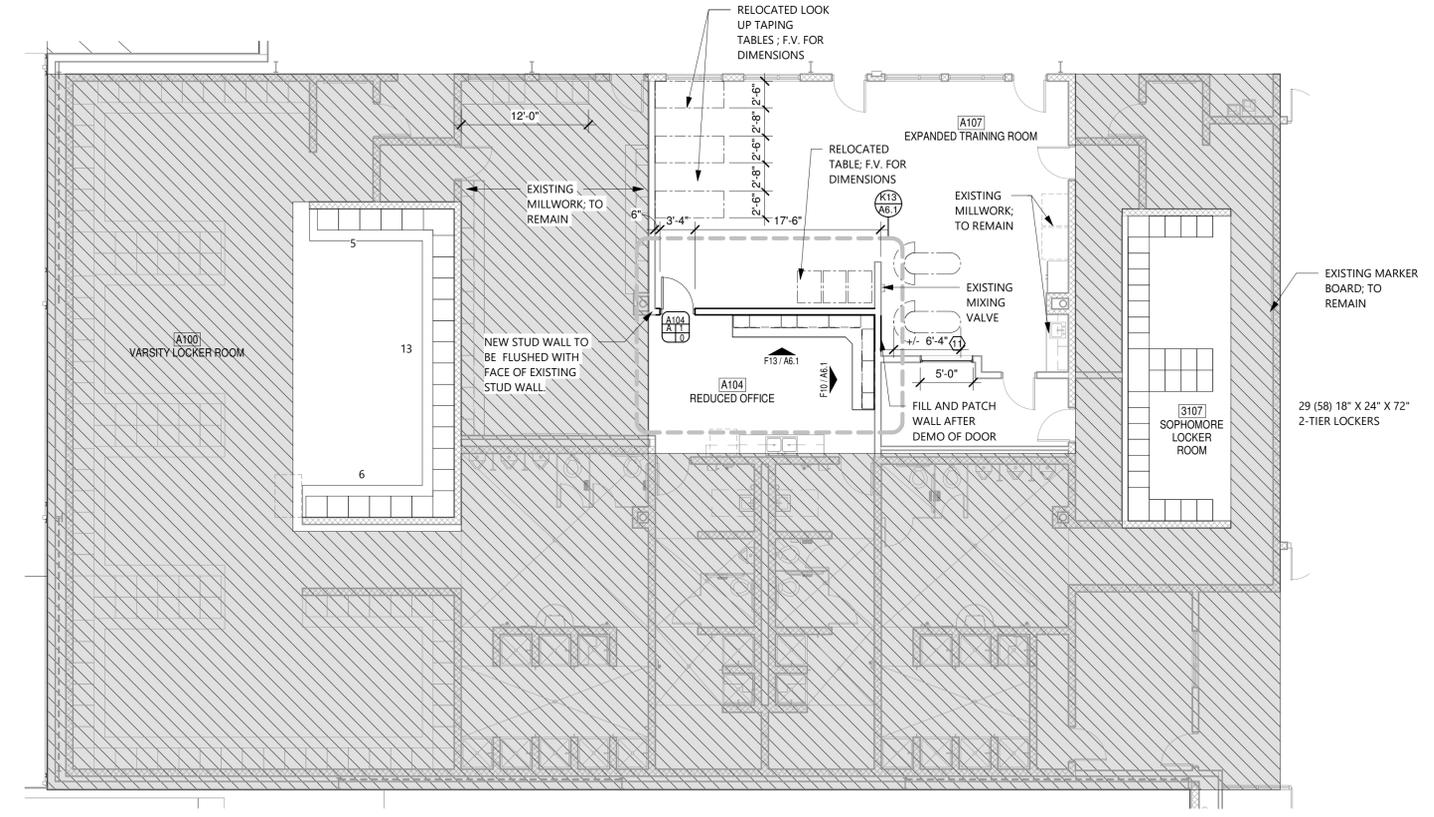
UNLESS NOTED OTHERWISE, MINIMUM STUD GAUGE SHALL BE AS FOLLOWS--- (LENGTH INDICATED IS FOR UNBRACED LENGTH)

**STUD FRAMING FOR CEILING SUPPORT, FURRING, STUD BRACING, ETC.**  
 3 5/8" AND 6" STUD JOIST-- 20 GAUGE CSJ AT 16" ON CENTER.  
 STUD BRACING-- 20 GAUGE CSJ STUD.

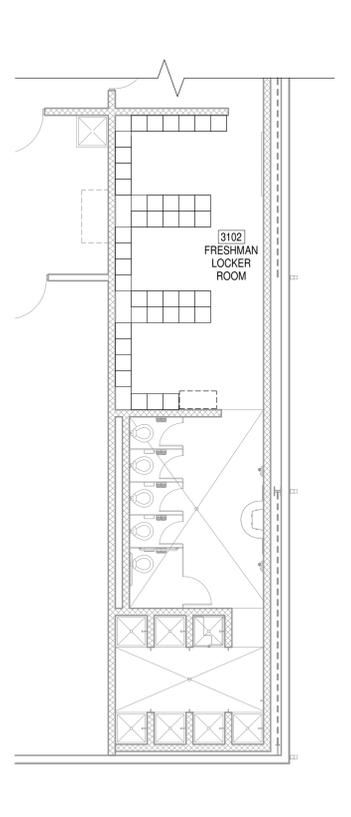
**INTERIOR STUD WALLS**  
 6" WALLS TO 24'-0" HIGH- 20 GAUGE DRYWALL STUD AT 16" O.C.  
 6" WALLS FROM 24'-0" TO 26'-0" HIGH- 20 GAUGE CSJ STUD AT 16" O.C.



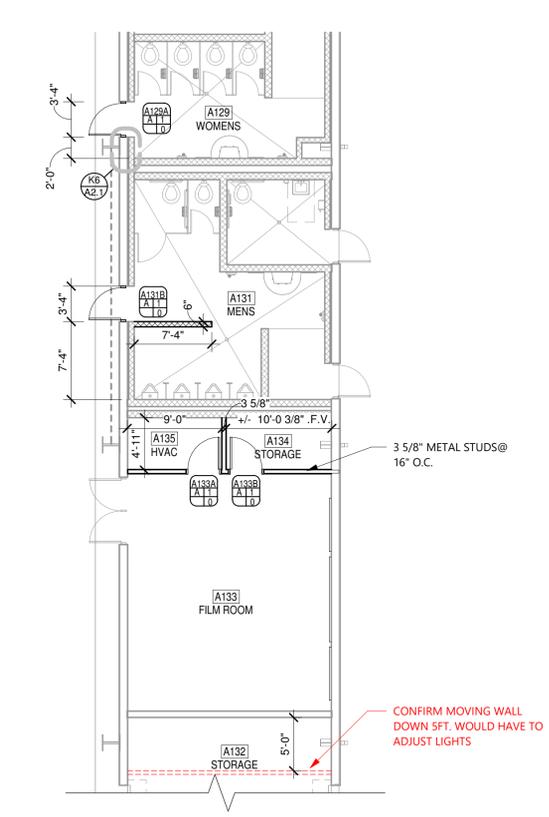
**H11** Overall Floor Plan  
 1/32" = 1'-0" Ref: 2/ A5.1



**A2** Enlarged Floor Plan - Area A  
 1/8" = 1'-0"



**A9** Enlarged Floor Plan - Area B  
 1/8" = 1'-0"



**A12** Enlarged Floor Plan - Area C  
 1/8" = 1'-0" Ref: H11/ A2.1

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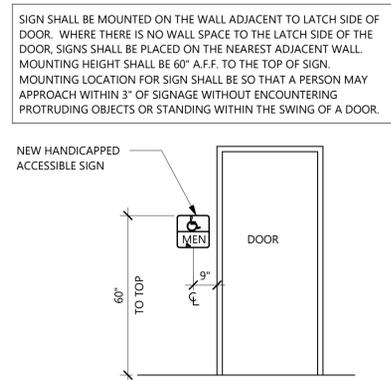
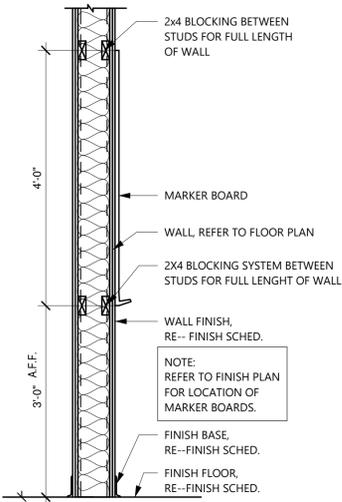
DRAWN BY: SM  
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FIRST FLOOR PLAN  
 SHEET  
**A2.1**  
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Sign Design Types		
	RAISED SYMBOLS VERBIAGE	ADA-3 TYPE 1
	RAISED SYMBOLS VERBIAGE BRAILLE	ADA-3 TYPE 2

Room Signage Schedule		
#	ROOM NAME	DESIGN
1	WOMEN'S RESTROOM	TYPE 1
2	MEN'S RESTROOM	TYPE 1
3	RESTROOM	TYPE 2



**G1** MARKER BOARD SECTION  
3/4" = 1'-0"

**G3** Room Signage Detail  
3/8" = 1'-0"

SPECIALTY PLAN LEGEND	
	6" MARKER BOARD
	4" MARKER BOARD
	WALL MOUNTED PROJECTOR, BY OWNER

LOCKER SCHEDULE	
1	24"x24" STADIUM LOCKER (XX TOTAL), RE-SPECS.
2	18"x18" STADIUM LOCKER (XXTOTAL), RE-SPECS.
3	15"x15" SINGLE TIER LOCKER (XX TOTAL), RE-SPECS.
4	12"x12" TWO TIER LOCKER (XX TOTAL), RE-SPECS.
5	18"x24" STADIUM LOCKERS (XX TOTAL), RE-SPECS.

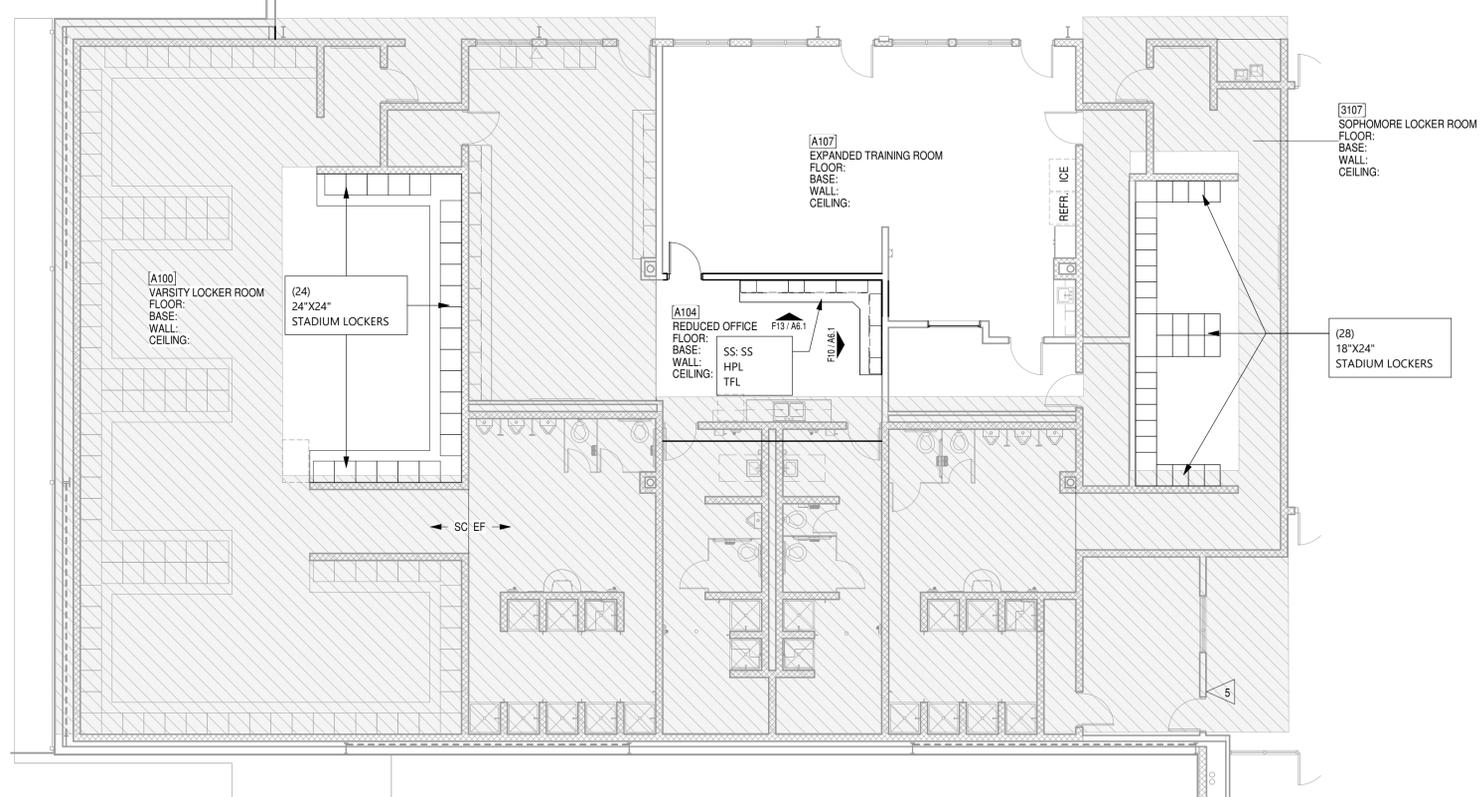
General Finish Notes

- PROVIDE 1 LAYER 5/8" TYPE X GYPSUM BOARD AT METAL STUD WALLS, UNLESS OTHERWISE NOTED IN DRAWINGS.
- REFER TO DRAWINGS FOR LOCATIONS OF ACOUSTICAL TREATMENTS; (REFLECTED CEILING PLANS AND INTERIOR ELEVATIONS)
- PROVIDE ZINC TERMINATION STRIP WHERE EPOXY FLOOR FINISH TRANSITIONS TO ANOTHER FLOOR MATERIAL.
- REFER TO REFLECTED CEILING PLANS FOR ALL CEILING HEIGHTS AND METAL STUD WITH GYPSUM BOARD HEADWALLS AND FURR DOWN LOCATIONS.
- UNLESS NOTED OTHERWISE, PAINT WALLS WITHOUT CEILINGS FULL HEIGHT TO UNDERSIDE OF DECK.
- PROVIDE 6" THICK UNFACED BATT INSULATION IN ALL CEILINGS ABOVE TOILET AND RESTROOM LOCATIONS.
- PROVIDE 3 1/2" MINIMUM THICK SOUND ATTENUATION INSULATION IN ALL STUD WALLS SURROUNDING ALL TOILET AND RESTROOM LOCATIONS.
- PROVIDE 6" THICK UNFACED BATT INSULATION IN WALLS SEPARATING CLASSROOMS, VOCAL PRACTICE, INSTRUMENT PRACTICE, COMPUTER LABS, MEDIA CENTER, OFFICES AND CONFERENCE ROOMS FROM OTHER AREAS.
- PROVIDE A 48" WIDE STRIP OF 6" THICK UNFACED BATT INSULATION ABOVE ALL CEILINGS ON BOTH SIDES OF WALL SEPARATING CLASSROOMS, OFFICES AND CONFERENCE ROOMS FROM OTHER AREAS.
- ALL EXPOSED PIPE RAIL, STEEL STAIR COMPONENTS, ETCETERA, EXPOSED TO VIEW ARE TO RECEIVE PAINT, PT-3
- PROVIDE CARPET FLOORING IN ELEVATOR CAB AND REFER TO SPECIFICATIONS FOR OTHER FINISHES INSIDE CAB--SHAFTS ARE TO REMAIN UNFINISHED.
- REFER TO FLOOR PATTERN PLANS FOR FLOOR COVERING PATTERNS.
- REFER TO CODE FOOTPRINT FOR FIRE SEPARATION WALLS.
- PROVIDE OUTSIDE CORNER GUARDS AS SPECIFIED ON ALL GYPSUM BOARD OUTSIDE CORNERS UNLESS NOTED OTHERWISE.
- UNLESS NOTED OR SHOWN ON DRAWINGS OTHERWISE, TERMINATE ALL NON-BEARING, NON-RATED PARTITIONS A MINIMUM 6" TO 8" ABOVE HIGHEST ADJACENT CEILINGS.
- REFER TO REFLECTED CEILING PLANS FOR WALLS THAT MUST EXTEND TO DECK.
- UNLESS SHOWN OTHERWISE PROVIDE 4" RUBBER BASE AT ALL MILLWORK TOE SPACES.
- PROVIDE 6" EPOXY COVE BASE IN KITCHEN AND 4" IN ALL OTHER AREAS WHERE EPOXY COVE BASE IS SCHEDULED.
- PROVIDE CONCRETE GROUT INFILL IN FLOOR GAP BETWEEN FREEZER/ COOLER STEPPED SLAB AND KITCHEN SLAB PRIOR TO APPLYING FINAL FINISH. EXTEND EPOXY FLOORING TIGHT TO FREEZER/COOLER.
- APPLY 2-COAT MINIMUM OF BLOCK FILLER ON ALL CMU WALLS IN KITCHEN AREAS AS REQUIRED TO MEET LOCAL HEALTH DEPARTMENT REQUIREMENTS.
- PROVIDE SOLID WOOD BLOCKING IN WALLS FOR MOUNTING MARKER BOARDS, TACK BOARDS, TACK STRIPS, TV BRACKETS, SMART BOARDS, LECTURES UNIT AND TOILET ACCESSORIES.
- ALL WALLS TIGHT TO DECK AT PLENUM SPACES TO BE SEALED AIR TIGHT. COORDINATE LOCATIONS WITH MECHANICAL.
- PROVIDE TRANSITION STRIP AS SPECIFIED WHERE CARPET TRANSITIONS TO A DIFFERENT FLOOR MATERIAL.
- REFER TO ELECTRICAL DRAWINGS FOR ALL ELECTRICAL OUTLETS AND SWITCH LOCATIONS. COORDINATE ALL ELECTRICAL OUTLETS AND SWITCHES WITH MILLWORK.
- ACCENT PAINT MARKER INDICATES SURFACE TO BE PAINTED THE ACCENT COLOR. STOP ACCENT PAINT COLOR AT THE END OF WALL OR INTERSECTION OF ADJACENT WALL.
- FLOOR MATERIAL TRANSITIONS AT DOORWAYS SHALL HAPPEN BELOW DOOR LEAF IN CLOSED POSITION. FLOOR PATTERN PLANS ARE TO SHOW MATERIAL COLOR AND LAYOUT ONLY.
- ALL HOLLOW METAL DOORS AND FRAMES TO BE PAINTED PT-3, INTERIOR AND EXTERIOR.
- REFER TO SPECIALTY PLANS FOR DETAIL OF FINISH SCHEDULE, COLORS, & ACCENT WALLS NOT FOUND IN FINISH SCHEDULE.
- ALL EXPOSED STEEL PIPE RAIL, STEEL STAIR COMPONENTS, ETC., EXPOSED TO VIEW ARE TO RECEIVE PAINT.
- PROVIDE CLEAR CONCRETE SEALER AT ALL EXPOSED CONCRETE FLOORS, BLEACHER TREADS, AND CONCRETE STEPS.
- PROVIDE 6" UNFACED INSULATION IN ALL EXTERIOR WALLS.
- PROVIDE 4" WIDE FRP PANELS AT ALL MOP SINK LOCATIONS TO HEIGHT OF 4'-0" AFF AT GYPSUM BOARD WALLS AND AS NOTED ON DRAWINGS.
- REFER TO TOILET ELEVATIONS FOR LOCATIONS AND HEIGHT OF CERAMIC WALL TILE. PROVIDE CEMENT BOARD BACKER BEHIND ALL CERAMIC WALL TILE.
- IN ROOMS SHOWN TO TAPE AND FLOAT GYPSUM BOARD OR NOT TO PAINT CMU, WALLS ARE TO BE CLEANED OF ANY MARKING OR DIRT. ALL GYPSUM BOARD IS TO BE REPAIRED IF DAMAGED.
- COUNTERTOP TO BE SOLID SURFACE AT ALL MILLWORK LOCATIONS WITH SINKS, UNLESS NOTED OTHERWISE. REFER TO MILLWORK ELEVATIONS AND SECTIONS.
- ALL HOLLOW METAL DOORS AND FRAMES TO BE PAINTED, INTERIOR AND EXTERIOR.
- AT FRY REGLET REVEAL FILL GAP CREATED BEHIND FLOOR BASE WITH FILLER AND SEALANT TO TOP OF BASE TO MATCH BASE COLOR.
- DO NOT PAINT FRY REGLET REVEALS.
- AT FIRE RATED WALLS WHERE FIRE CAULK WILL BE EXPOSED, BACKSET FIRE CAULK AND CAULK OVER WITH COLOR MATCH CAULK.
- FASCIA OF WINDOWSHADES TO BE MOUNTED FLUSH WITH INTERIOR GYP. BOARD WALL SURFACE.

Keyed Finish Notes (KN-1)

- PROVIDE 6" SOUND BATT INSULATION ABOVE ENTIRE CEILING
- PROVIDE PLASTIC LAMINATE PL-3 AT EXPOSED SHELVING
- CERAMIC TILE AT RESTROOM WALLS, REFER TO RESTROOM ELEVATIONS FOR PATTERN AND COLORS
- GYP. BD. WALLS TO BE COVERED WITH FRP FROM TOP OF EPOXY BASE
- PROVIDE (2) 4'-0" X 6'-0" TECTUM WALL PANELS (TP), CENTER EACH PANEL ON WALL

FINISH LEGEND		
CODE	MATERIAL	REMARKS
FLOORS		
EF-3	EPOXY FLOOR	DESCO CREMONA TG-408
SC	SEALED CONCRETE	-
RF	RUBBER FLOOR	ECO NIGHTS MILKY WAY
PC	POLISHED CONCRETE	CLEAR
BASE		
RB	RUBBER BASE	JOHNSONITE #20 CHARCOAL
NB	NO BASE	-
EB-3	EPOXY BASE	DESCO CREMONA EPOXY BASE TO MATCH EF-3
WALLS		
PT-1	PAINT	SW7051 ANALYTICAL GRAY
PT-4	PAINT	SW7049 NUANCE
EP-X	EPOXY PAINT	X REPRESENTS PAINT NUMBER FROM WALL COLOR LISTED ABOVE
CMU	CMU - NOT PAINTED	-
TF	GYP. BOARD - TAPE/FLOAT ONLY	-
FRP	FIBERGLASS REINFORCED PANEL	-
SWC	SPECIAL WALL COATING	DESCO COLORTILE AT CMU SHOWER WALLS
PT-12	PAINT	BENJAMIN MOORE 2134-30 IRON MOUNTAIN
CEILING		
AC-1	2'x4' ACOUSTICAL CEILING TILE	WHITE SUSPENDED ACOUSTICAL CEILING
EP-4	GYPSUM BOARD	EPOXY PAINTED, SW7049 NUANCE
AC-2	2'x4' VINYL FACED A.C.T.	WHITE SUSPENDED ACOUSTICAL CEILING
ESP-4	EXPOSED STRUCTURE PAINTED PT-4	ONLY STRUCTURE IS TO BE PAINTED, DO NOT PAINT ROOF INSULATION
MILLWORK		
M-1	MELAMINE CABINET BODY	FUNDER AMERICAN 4218 CHAMPLAIN
PL-4	PLASTIC LAMINATE OPEN SHELVING	PIONTE, SUEDE, MELLOW MARRON AT965
SS-2	SOLID SURFACE COUNTERTOP	FORMICA, SPANISH PAPRIKA MIST
SSC	STAINLESS STEEL COUNTERTOP	ROLLED EDGES
PL-1	PLASTIC LAMINATE COUNTERTOP	PIONITE, SUEDE, GOLD PANIN AT710



**A1** Specialty Floor Plan- Area A  
1/8" = 1'-0"

**A10** Specialty Floor Plan- Area B  
1/8" = 1'-0" Ref: 2/ A5.1

**A13** Specialty Floor Plan- Area C  
1/8" = 1'-0" Ref: 2/ A5.1

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BENTONVILLE SCHOOL DISTRICT #6  
BWHS - DEN Remodel  
1355 GAMBLE ROAD, CENTERTON, ARKANSAS

DRAWN BY: CC  
CHECK BY: MM  
ISSUE DATE: 02/02/2026  
PROJECT NO: 2421  
REVISION DATES:

SPECIALTY FLOOR PLANS  
SHEET  
**A2.2**  
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REVISION DATES

REFLECTED CEILING PLANS  
SHEET

A2.4A

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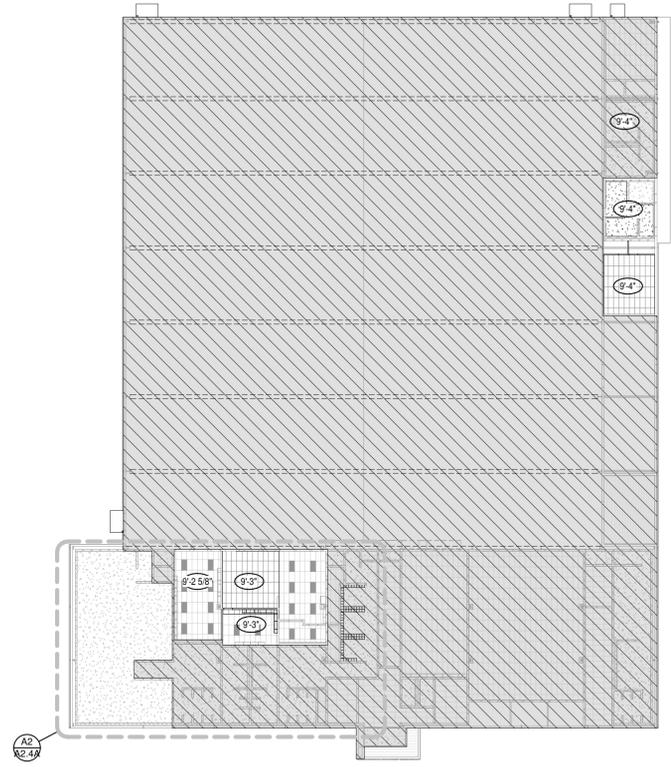
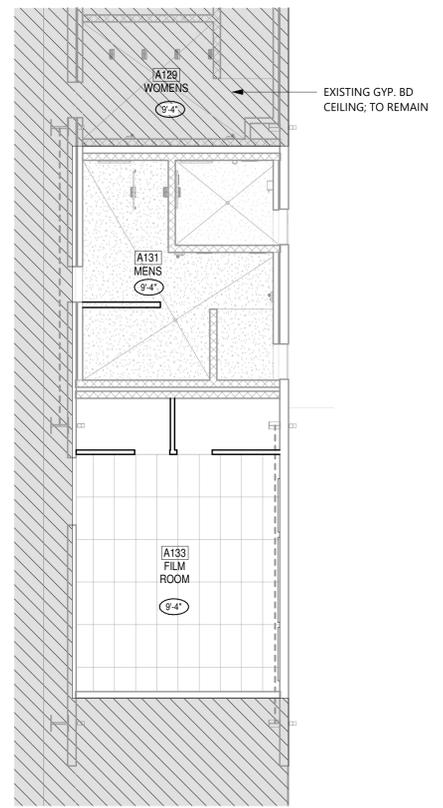
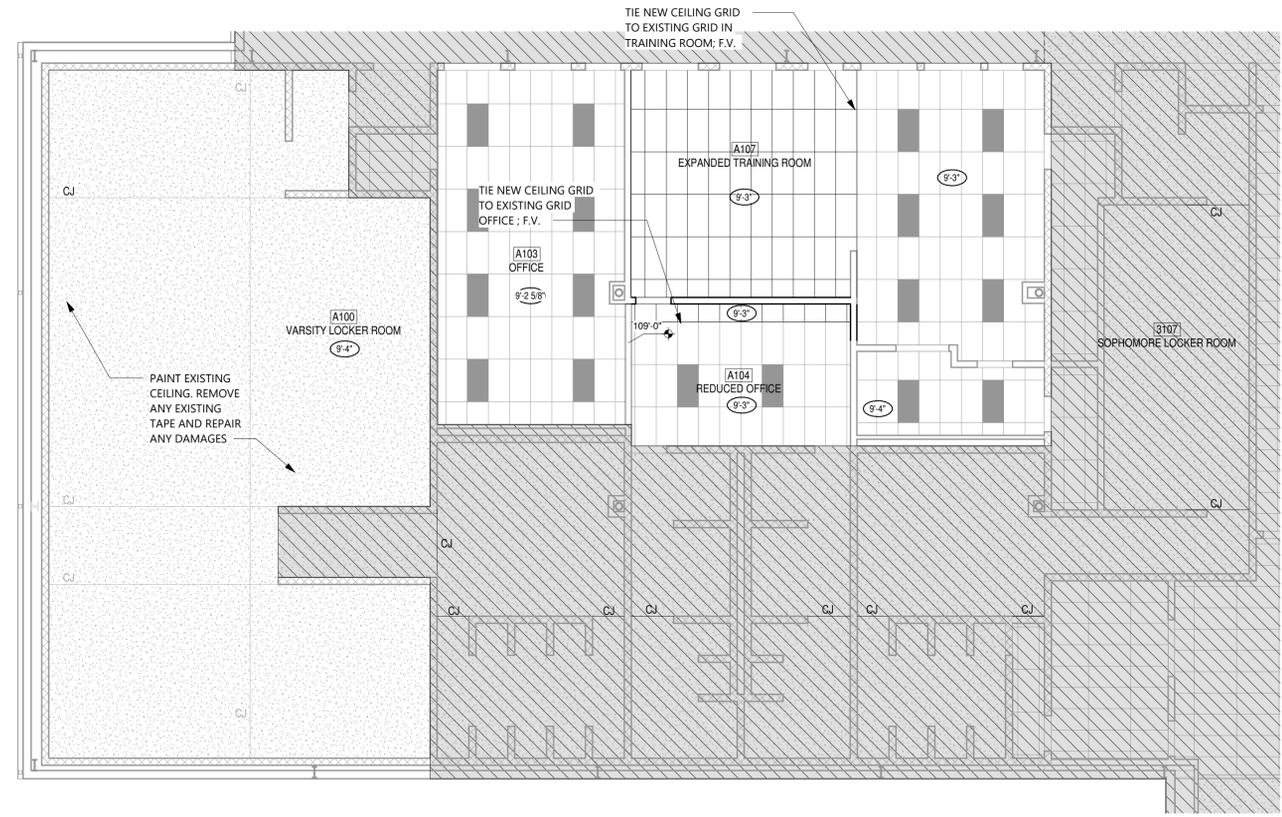
**Reflected Ceiling Plan Legend**

- 0'-0" CEILING HEIGHT FROM FINISHED FLOOR
- ES EXPOSED STRUCTURE
- 2'x4' ACOUSTICAL CEILING
- EXISTING GYPSUM BOARD CEILING
- WALLS TO EXTEND TIGHT TO ROOF.
- EXISTING 2X4 LIGHTING FIXTURE; RE-MECH
- 2 X 4 LIGHTING FIXTURE; RE-MECH

**NOTE:** REFER TO ENLARGED REFLECTED CEILING PLANS FOR ADDITIONAL FINISHES

**Reflected Ceiling Plan General Notes:**

1. PROVIDE 24"x24" MIN. ACCESS PANELS AS NEEDED TO ACCESS TO PIPING, FILTERS, EQUIPMENT, VALVES, ETC. AT GYPSUM BOARD CEILINGS. COORDINATE WITH MECHANICAL, PLUMBING AND ELECTRICAL, TYP.
2. PROVIDE GYPSUM BOARD CONTROL JOINTS AT SPACING NOT TO EXCEED 30'-0" O.C., RE-SPEC. WHERE CONTROL JOINTS ARE NOT SHOWN, COORDINATE W/ ARCHITECT IN THE FIELD.
3. UNLESS NOTED OTHERWISE ALL EXPOSED STRUCTURE TO BE PAINTED.
4. REFER TO CODE FOOTPRINT FOR FIRE-WALL LOCATIONS AND UL-DESIGNATIONS.
5. AT TURF ROOM ALL METAL BUILDING STEEL TO BE PAINTED. DO NOT PAINT EXPOSED METAL BUILDING INSULATION.

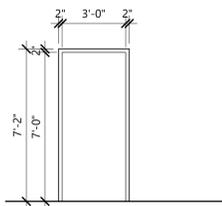


A2 Enlarged RCP - Area A  
1/8" = 1'-0" Ref: A13/ A2.4A

A9 Enlarged RCP - Area C  
1/8" = 1'-0"

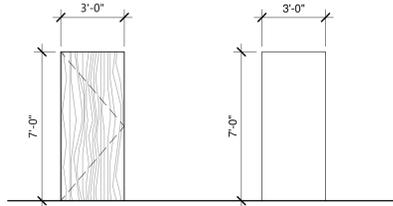
A13 FIRST FLOOR RCP  
1/32" = 1'-0"

### Door Frame Types



**Frame Type 1**  
HOLLOW METAL FRAME PAINTED  
(TO MATCH EXISTING W.R.T. DOORS)

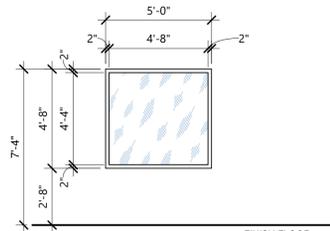
### Door Types



**Door Type A**  
FLUSH WOOD DOOR, SOLID CORE, STAINED  
(TO MATCH EXISTING W.R.T. DOORS)

**Door Type B**  
FLUSH WOOD DOOR, SOLID CORE, STAINED  
(TO MATCH EXISTING W.R.T. DOORS)

### Window Frame Types



**(A)**  
ALUMINUM STOREFRONT WINDOWS WITH 1" INSULATED GLASS

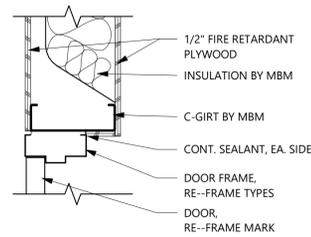
Door Schedule				
MARK	DETAILS			NOTES
	HEAD	JAMB	SILL	
A104				
A129A				
A131B				
A133A				
A133B				

#### Keyed General Notes

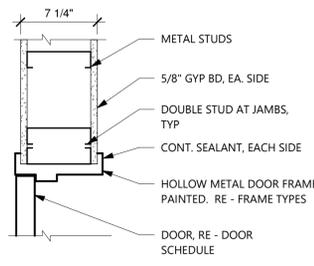
- DOOR TO BE CONTROLLED BY ACCESS CONTROL SYSTEM. COORDINATE LOCATION AND INSTALLATION OF JUNCTION BOXES AND CONDUIT WITH THE ELECTRICIAN AND ACCESS CONTROL CONTRACTOR. CONDUIT MUST BE ROUTED FROM ACCESSIBLE POINT ABOVE CEILING TO FRAME JAMB AT WIRE TRANSFER DEVICE LOCATION. REFER TO SPECIFICATION SECTION 08 43 13 ALUMINUM STOREFRONT, DOORS, AND EXTERIOR FIXED UNITS AND SECTION 08 71 00 FINISH DOOR HARDWARE FOR ACCESS CONTROL HARDWARE TO BE PROVIDED AND INSTALLED. REFER TO SPECIFICATION SECTION 28 13 01 AND ELECTRICAL DRAWINGS FOR ACCESS CONTROL SYSTEM COMPONENTS, JUNCTION BOXES, AND CONDUIT. WHERE DOOR IS DOUBLE DOOR, RIGHT DOOR LEAF ONLY TO BE CONTROLLED BY ACCESS CONTROL SYSTEM.

### Door General Notes

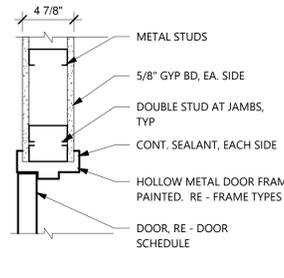
- PROVIDE BLOCKING IN GYPSUM BOARD AND STUD WALLS TO ATTACH AND SUPPORT ALL WALL MOUNTED HARDWARE.
- PROVIDE REINFORCING IN HOLLOW METAL AND ALUMINUM DOORS AND FRAMES AS REQUIRED TO PROPERLY SECURE HARDWARE. RE-SPECS.
- PROVIDE SILENCERS FOR ALL HOLLOW METAL DOOR FRAMES UNLESS WEATHER-STRIPPING IS PROVIDED.
- ANCHOR RECEIVING END OF RECESSED FLUSH BOLT AND SURFACE MOUNTED BOLTS IN EPOXY CONCRETE AT CONCRETE FLOOR.
- REFER TO DOOR TAGS AND 08 71 00 FOR HARDWARE SETS.
- DOOR LEAVES ARE STANDARD 3'-0" WIDE, 7'-0" HIGH. REFER TO FLOOR PLAN DIMENSION AND NOTES ON DOOR SCHEDULE FOR EXCEPTIONS.
- DETAILS DO NOT INDICATE DOOR SWING. REFER TO ARCHITECTURAL FLOOR PLANS FOR DOOR SWING.
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION AND COORDINATION OF FRAME THROAT DEPTHS WITH WALL THICKNESS PRIOR TO ORDERING.
- EACH LEAF OF ALL EXTERIOR HOLLOW METAL DOORS, UNLESS NOTED OTHERWISE, IS TO RECEIVE THE FOLLOWING ITEMS - CONTINUOUS HINGES, WEATHERSTRIPPING SET, ADA THRESHOLD (SET IN BUTYL RUBBER SEALANT), MULLION SEAL (FOR REMOVABLE MULLIONS), DOOR SHOE DRIP CAP, HEAVY DUTY FLOOR STOP (RE-HARDWARE SETS IN SPEC. SECTION 08 71 00).
- WHERE FLOOR MOUNTED STOPS AND OVERHEAD STOPS ARE USED ON SAME DOOR ALIGN STOPS SO THAT DOOR DOES NOT TWIST WHEN HELD AGAINST STOPS.
- COORDINATE MOUNTING HEIGHTS OF LATCHES, EXIT DEVICES, AND OTHER HARDWARE ITEMS WITH DOOR LITE DIMENSIONS.
- CONTINUOUS HINGES ONLY ON ALL EXTERIOR DOORS.
- ALL DOORS UP TO 3' WIDE LEAFS TO HAVE 1 1/2" PAIR OF HINGES EACH LEAF, UNLESS NOTED OTHERWISE. (DOORS 3'-6" AND WIDER TO HAVE 2 PAIRS OF HINGES UNLESS NOTED OTHERWISE)
- PROVIDE DRIP CAP AT EXTERIOR DOORS WITHOUT CANOPY COVER.
- PROVIDE GALVANIZED HOLLOW METAL DOORS AT EXTERIOR LOCATIONS.
- ALL EXTERIOR DOORS TO HAVE ADA THRESHOLD (SET IN BUTYL RUBBER SEALANT) AND WEATHER-STRIPPING UNLESS NOTED OTHERWISE.
- ALL CLOSERS TO HAVE PARALLEL ARMS, UNLESS NOTED OTHERWISE OR INSTALLATION REQUIRES ALTERNATE ARM TYPE.
- PROVIDE FIRE GASKET AROUND PERIMETER OF ALL FIRE RATED DOORS IN ACCORDANCE WITH 2006 INTERNATIONAL BUILDING CODE.
- REFER TO AND VERIFY LINTEL COND. WITH STRUCTURAL LINTEL PLAN.
- ALL EXTERIOR HOLLOW METAL DOORS TO BE INSULATED.
- REFER TO SPEC. SECTION 01 21 13 FOR HARDWARE ALLOWANCE.
- UNLESS OTHERWISE NOTED, ALL INTERIOR DOORS TO HAVE 1 1/2" PAIR HINGES, EACH LEAF AS SPECIFIED.
- ALL CLOSERS TO HAVE THROUGH-BOLT ATTACHMENT AT DOOR.
- PROVIDE REQUIRED FIRE RATING FOR ALL DOORS AND FRAMES LOCATED IN FIRE WALLS.



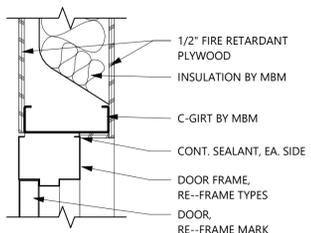
**H4 Jamb Detail**  
1 1/2" = 1'-0"



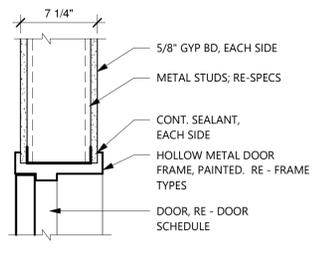
**H6 Jamb Detail**  
1 1/2" = 1'-0"



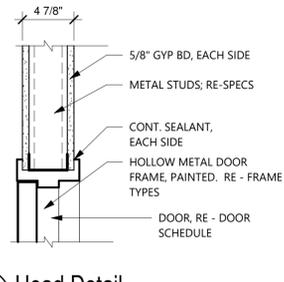
**H9 Jamb Detail**  
1 1/2" = 1'-0"



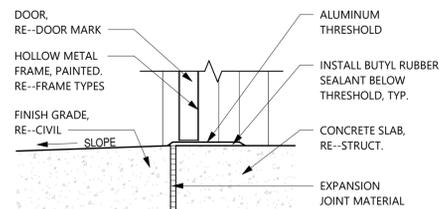
**E1 Head Detail**  
1 1/2" = 1'-0"



**E6 Head Detail**  
1 1/2" = 1'-0"



**E9 Head Detail**  
1 1/2" = 1'-0"



**B1 SILL DETAIL**  
1 1/2" = 1'-0"

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1355 GAMBLE ROAD, CENTERTON, ARKANSAS

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CHECK BY: MM  
ISSUE DATE: 02/02/2026

PROJECT NO: 2421

REVISION DATES

DOOR SCHEDULE / DOOR / WINDOW / FRAME ELEVATIONS / DETAILS SHEET

**A3.0**

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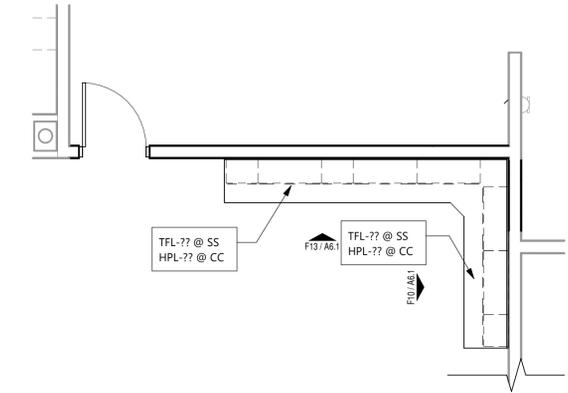
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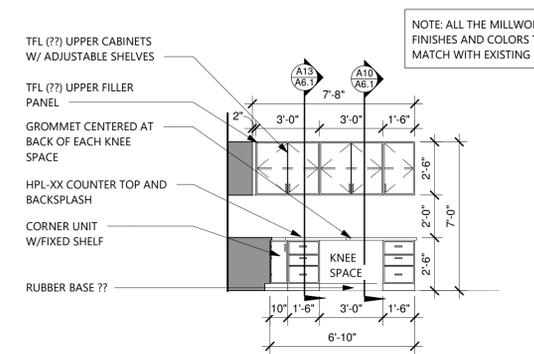
MILLWORK ELEVATIONS / DETAILS  
SHEET

A6.1

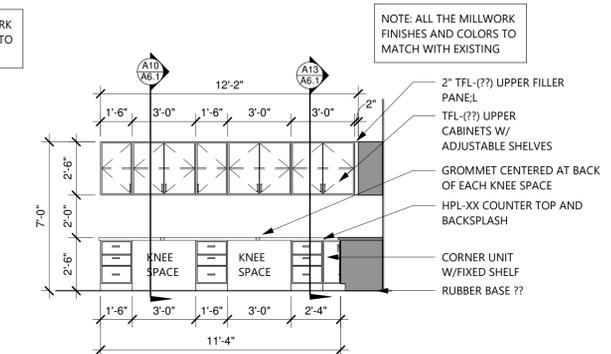
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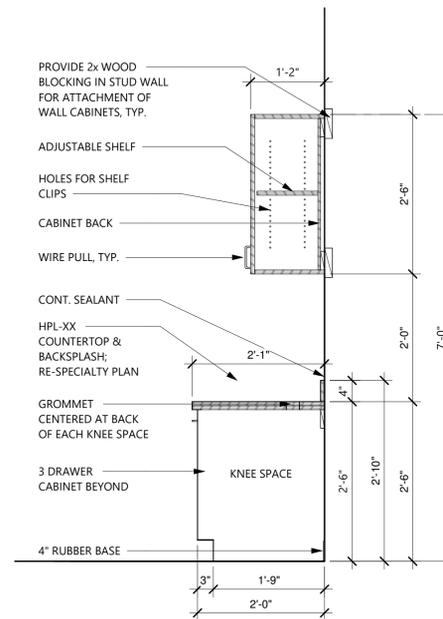
K13 Enlarged Plan  
1/4" = 1'-0" Ref: A2/ A2.1



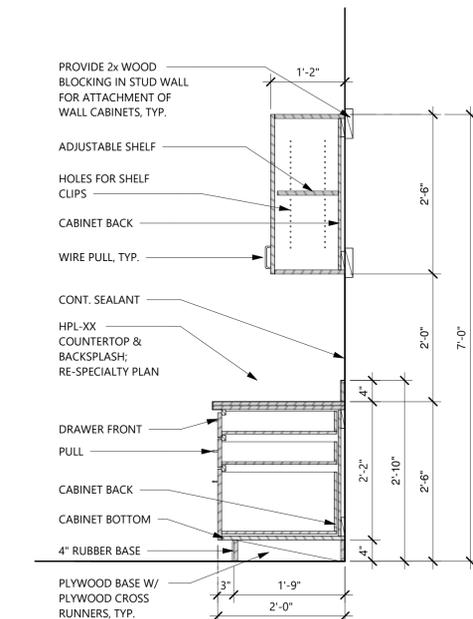
F10 Millwork Elevation  
1/4" = 1'-0" Ref: G1/ 0.00



F13 Millwork Elevation  
1/4" = 1'-0" Ref: G1/ 0.00



A10 Millwork Section  
3/4" = 1'-0" Ref: F10/ A6.1



A13 Millwork Section  
3/4" = 1'-0" Ref: F10/ A6.1