

ROGERS FACILITIES DEPARTMENT
2295 N ARKANSAS ST
ROGERS, ARKANSAS
SITE DEVELOPMENT PLANS
SDP26-0181

LEGEND

---	RIGHT-OF-WAY LINE
---	PROPERTY/LEASE LINE
---	PROP. BUILDING SETBACK
---	UTILITY EASEMENT
▲	BENCHMARK
○	EXIST. SIGN OR UTILITY MARKER
○	EXIST. SANITARY SEWER MANHOLE
☆	EXIST. STORM DRAIN MANHOLE
☆	EXIST. LIGHT POLE
⊠	EXIST. ELECTRIC CABINET
⊠	EXIST. TRANSFORMER
⊠	EXIST. WATER METER
⊠	EXIST. FIBER OPTIC BOX
⊠	EXIST. FIBER OPTIC VAULT
⊠	EXIST. ELECTRIC METER
⊠	EXIST. ELECTRIC RISER
⊠	EXIST. GRATE INLET
⊠	EXIST. GUY WIRE
⊠	EXIST. POWER POLE
⊠	EXIST. POWER POLE W/ LIGHT
⊠	EXIST. STEEL POST
⊠	EXIST. TELEPHONE RISER
⊠	EXIST. TELEPHONE CABINET
⊠	EXIST. WATER MANHOLE
⊠	EXIST. WATER VALVE
⊠	EXIST. IRRIGATION VALVE
⊠	EXIST. WATER PIPE
⊠	EXIST. GAS PIPE
⊠	EXIST. SANITARY PIPE
⊠	EXIST. OVERHEAD POWER
⊠	EXIST. UNDERGROUND POWER
⊠	EXIST. STORM DRAIN PIPE
⊠	EXIST. UNDERGROUND FIBER OPTIC



SECTION 6, T-19-N, R-29-W
BENTON COUNTY, ARKANSAS

VICINITY MAP
NOT TO SCALE

LEGAL DESCRIPTION
PART OF THE FRACTIONAL NORTHWEST QUARTER OF
SECTION 6, TOWNSHIP 19 NORTH, RANGE 29 WEST
AND PART OF THE FRACTIONAL SOUTHWEST QUARTER OF
SECTION 31, TOWNSHIP 20 NORTH, RANGE 29 WEST
CITY OF ROGERS, BENTON COUNTY, ARKANSAS

DESIGN CONTACTS

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UTILITY CONTACTS

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CABLE TELEVISION COX COMMUNICATIONS 4901 S 48TH STREET SPRINGDALE, AR 72762 CONTACT: MICHAEL MOORE PHONE: 479-717-3607 EMAIL: MICHAEL.MOORE3@COX.COM	ELECTRIC SOUTHWESTERN ELECTRIC POWER COMPANY 415 W STRIBLING DR, ROGERS, AR 72756 CONTACT: CHRIS ANDREOLLI PHONE: (479)-986-1015 EMAIL: CLANDREOLLI@AEP.COM		

Sheet List Table

SHEET NUMBER	SHEET TITLE
C0.0	COVER SHEET
C0.1	BOUNDARY & TOPOGRAPHIC SURVEY COVER
C0.2	BOUNDARY & TOPOGRAPHIC SURVEY
C1.0	LAND DEVELOPMENT PLAN
C1.1	DIMENSION PLAN I
C1.2	SITE PLAN I
C1.3	SITE PLAN II
C2.0	GRADING PLAN
C2.1	DETENTION POND PLAN
C3.0	UTILITY PLAN
C3.1	STORM PLAN AND PROFILE I
C3.2	STORM PLAN AND PROFILE II
C4.0	PUBLIC WATER PLAN AND PROFILE
C4.1	PUBLIC SANITARY PLAN AND PROFILE
C5.0	ERC PLAN PH1
C5.1	ERC PLAN PH2
C5.2	EROSION CONTROL DETAILS
C7.0	DETAIL SHEET 1
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C7.3	DETAIL SHEET 4
C7.4	DETAIL SHEET 5
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C7.6	DETAIL SHEET 7
L1.0	OVERALL PLANTING PLAN
L1.1	PLANTING PLAN I
L1.2	PLANTING PLAN II
L2.0	LANDSCAPE DETAILS
A1.1	FIRST FLOOR PLAN
A2.1	EXTERIOR ELEVATIONS
A9.1	3D VIEWS
A9.2	3D VIEWS
P1.1	PHOTOMETRICS

GENERAL NOTES:

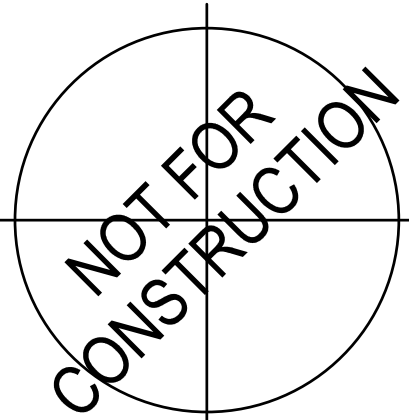
- ACCORDING TO THE NATIONAL WETLANDS INVENTORY, NO WETLANDS OR AREAS OF INTEREST ARE LOCATED WITHIN THE PROJECT BOUNDARY.
- NO KNOWN EROSION PROBLEMS ON-SITE OR WITHIN 100' DOWNSTREAM OF THE PROJECT SITE.
- NO KNOWN DANGEROUS AREAS OR HAZARDS PRESENT ON PROJECT SITE.
- IT IS THE RESPONSIBILITY OF THE ENGINEER OF RECORD TO INCLUDE ALL ITEMS REQUIRED BY ORDINANCE. IF APPROVED PLANS CONFLICT WITH ORDINANCE REQUIREMENTS, THE ORDINANCE TAKES PRECEDENCE UNLESS A WAIVER OR VARIANCE HAS BEEN GRANTED.
- SITE DEVELOPMENT PLAN APPROVAL LAPSES AND HAS NO FURTHER EFFECT IF GRADING OR CONSTRUCTION PERMITS ARE NOT OBTAINED AND WORK AUTHORIZED BY SUCH PERMITS HAS NOT COMMENCED WITHIN ONE YEAR OF THE DATE OF APPROVAL.
- STOCKPILES WITH EXCESS CONSTRUCTION SITE MATERIALS, INCLUDING BUT NOT LIMITED TO EXCESS TOP SOIL STOCKPILES, MUST BE REMOVED FROM SITE PRIOR TO PROJECT COMPLETION. GRADING BEYOND THE APPROVED LIMITS IS PROHIBITED.
- CHANNELS, DETENTION PONDS, RETENTION PONDS, SEDIMENT BASINS, ETC. REQUIRE SOD TO THE 100-YEAR WATER SURFACE ELEVATION WITHIN 2-WEEKS (14-DAYS) AFTER THE POND IS BUILT, AND MUST BE INSTALLED AT THE BEGINNING OF THE PROJECT WHERE FEASIBLE.
- PUBLIC STREETS SHALL HAVE 20-FT OF DRIVABLE SURFACE FOR TWO-WAY TRAFFIC. THIS DOES NOT INCLUDE THE CURB AND GUTTER AND IS MEASURED FROM EDGE OF ASPHALT TO EDGE OF ASPHALT.
- WHERE PUBLIC STREETS END FOR FUTURE STUB OUTS, INSTALL MUTCD CLASS 3 BARRICADE WITH "FUTURE ROAD EXTENSION" SIGN CENTERED AT THE END OF THE RIGHT-OF-WAY PER THE CITY OF ROGERS DETAIL.
- WHERE PUBLIC SIDEWALKS, TRAILS, OR SIDEPATHS END, INCLUDE "SIDEWALK ENDS" SIGN PER THE CITY OF ROGERS DETAIL.

PREPARED & SUBMITTED BY



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A NEW BUILDING FOR THE
ROGERS FACILITIES DEPARTMENT

2295 N. ARKANSAS ST, ROGERS, ARKANSAS, 72756

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COVER SHEET

CO.0

BID SET
05/04/2026 025-04961

REVIEW OF THESE PLANS IS LIMITED TO COMPLIANCE WITH CITY CODES AND REGULATIONS. BY REVIEWING AND APPROVING THESE PLANS THE REVIEWER AND THE CITY OF ROGERS ASSUME NO RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS IN THE PLANS. THE ADEQUACY OF THE PLANS IS THE SOLE RESPONSIBILITY OF THE DESIGN ENGINEER. THE CITY OF ROGERS, HOWEVER, RESERVES THE RIGHT TO REQUIRE CORRECTIVE ACTION IF ANY INADEQUACIES ARE FOUND AFTER THE IMPROVEMENTS ARE CONSTRUCTED.

FLOOD NOTE:

THE FLOOD INSURANCE RATE MAP (FIRM) FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) COMMUNITY PANEL NO. 05007C0280K, EFFECTIVE DATE 06/05/2012, SHOWS THIS PROPERTY IS LOCATED IN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.)

ABBREVIATIONS

M.G.	MATCH GRADE
P.V.M.T.	PAVEMENT
T.C.	TOP OF CURB
EP	EDGE OF PAVEMENT
G	GUTTER
EL	ELEVATION
R.W.	RIGHT-OF-WAY
R.O.W.	RIGHT-OF-WAY
T.C.E.	TEMPORARY CONSTRUCTION EASEMENT
ESMT.	EASEMENT
PROP.	PROPOSED
EXIST.	EXISTING
TYP.	TYPICAL
(R)	REMOVAL
CONST.	CONSTRUCT
T.B.M.	TEMPORARY BENCHMARK
C.P.	CONTROL POINT
D.N.D.	DO NOT DISTURB
U.I.P.	USE IN PLACE
CONC.	CONCRETE
AGG.	AGGREGATE
N.T.S.	NOT TO SCALE
B-B	BACK OF CURB TO BACK OF CURB
F-F	FACE OF CURB TO FACE OF CURB

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE BASED ON THE BEST INFORMATION AVAILABLE AND MAY NOT REFLECT ALL EXISTING UTILITIES IN THE PROJECT AREA. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE UTILITY COMPANIES FOR LOCATING EXISTING UTILITIES PRIOR TO CONSTRUCTION AND FOR PROTECTION OF SERVICES DURING CONSTRUCTION.

