

HOME GROWN



04.20.2020

FOR PERMIT | 04.20.26

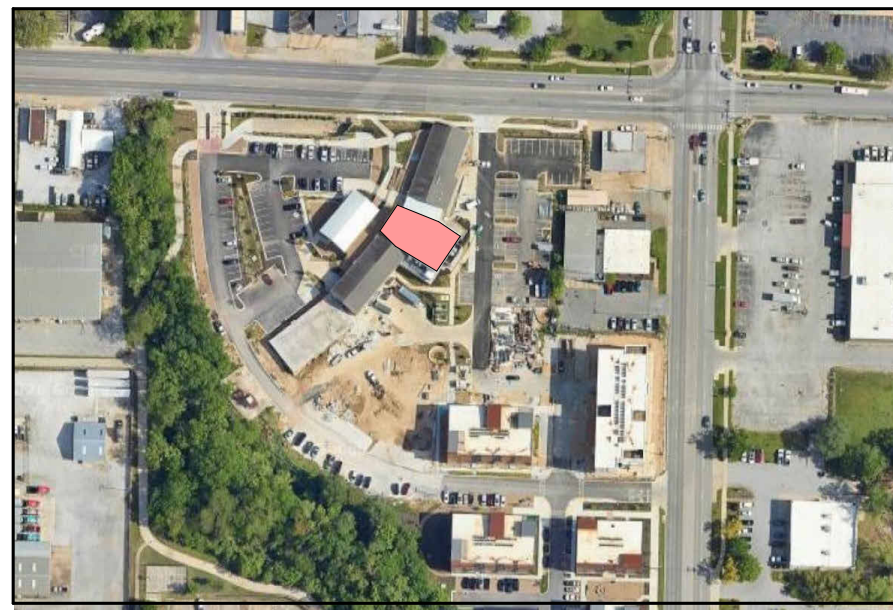
SHEET INDEX

#	SHEET NAME	
GENERAL		
CVR	COVER SHEET	•
GS1.0	GENERAL INFORMATION & RESPONSIBILITY MATRIX	•
GS1.1	HUTTON STANDARD CONSTRUCTION DETAILS	•
GS1.2	PARTITIONS	•
ARCHITECTURAL		
AS1.0	ARCHITECTURAL SITE PLAN	•
D1.0	DEMOLITION PLAN	•
A0.0	SLAB PLANS	•
A1.0	FLOOR PLANS	•
A1.1	FINISH LEGEND & PLAN	•
A1.2	FURNITURE PLAN	•
A1.3	REFLECTED CEILING PLAN & DETAILS	•
A1.4	REFLECTED DETAILS	•
A1.5	ROOF PLAN & DETAILS	•
A2.0	EXTERIOR ELEVATIONS & SIGNAGE	•
A6.0	ENLARGED KITCHEN PLAN & DETAILS	•
A6.1	ENLARGED RESTROOM PLAN & DETAILS	•
A6.2	INTERIOR ELEVATIONS & DETAILS (KITCHEN)	•
A6.3	INTERIOR ELEVATIONS & DETAILS (DINING)	•
A6.4	INTERIOR ELEVATIONS & DETAILS (DINING)	•
A7.0	HOST STAND & CASEWORK DETAILS	•
AT.1	BASE CABINET DETAILS	•
A8.0	DOORS & FRAMES	•
A9.0	3D VIEWS	•
SP.0	SPECIFICATIONS	•
SP.1	SPECIFICATIONS	•
SP.2	SPECIFICATIONS	•
SP.3	SPECIFICATIONS	•
SP.4	SPECIFICATIONS	•
SP.5	SPECIFICATIONS	•
SP.6	SPECIFICATIONS	•
SP.7	SPECIFICATIONS	•
SP.8	SPECIFICATIONS	•
STRUCTURAL		
S001	DESIGN PARAMETERS AND GENERAL STRUCTURAL NOTES	•
S002	DESIGN PARAMETERS AND GENERAL STRUCTURAL NOTES	•
S101	ROOF FRAMING PLAN AND DETAILS	•
MEP		
MEP0.1	MEP COVERSHEET	•
MEP1.1	MEP SPECIFICATIONS	•
MEP2.1	MEP ROOF PLAN	•
MECHANICAL		
M1.1	IMPROVEMENT HVAC PLAN	•
M2.1	MECHANICAL DETAILS	•
M3.1	MECHANICAL SCHEDULES	•
PLUMBING		
P1.1	WASTE & VENT IMPROVEMENT PLAN	•
P2.1	WATER & GAS IMPROVEMENT PLAN	•
P3.1	WASTE & VENT IMPROVEMENT PLAN	•
P3.2	PLUMBING DETAILS	•
P4.1	PLUMBING SCHEDULES	•
ELECTRICAL		
E1.1	IMPROVEMENT POWER PLAN	•
E1.2	ENLARGED KITCHEN POWER PLAN	•
E2.1	IMPROVEMENT LIGHTING PLAN	•
E3.1	ELECTRICAL LOW VOLTAGE & FIRE ALARM PLAN	•
E4.1	ELECTRICAL DETAILS	•
E5.1	ELECTRICAL SCHEDULES	•
FOOD SERVICE		
FS-1	EQUIPMENT & SCHEDULE	•
FS-2	ELECTRICAL ROUGH-INS PLAN	•
FS-3	PLUMBING ROUGH-INS PLAN	•
FS-5	ELEVATIONS & DETAILS	•

PROJECT INFORMATION

PROJECT PURPOSE:	INTERIOR REMODEL OF EXISTING TENANT SPACE. NEW USE WILL BE A RESTAURANT.
LOCATION:	417 MLK JR BLVD FAYETTEVILLE, AR 72701
OWNER:	MORNING GLORY V. LLC 1877 N. ROCK RD WICHITA, KS 67206
ARCHITECT:	HUTTON CORPORATION TONY RANGEL 111 N SYCAMORE ST. WICHITA, KS 67203 316.942.8855
RESPONDING FIRE DEPT:	FAYETTEVILLE FIRE DEPARTMENT
BUILDING INSPECTION:	CITY OF FAYETTEVILLE DEVELOPMENT SERVICES DEPARTMENT

VICINITY MAP



TYPICAL ANNOTATIONS & SYMBOLS

	DIMENSIONS		ELEVATION TAG
	ELEVATION TAG		NORTH ARROW
	CALLOUT		REVISION CLOUD/TAG
	DOOR TAG		ROOM NAME (WITH AREA)
	EQUIPMENT TAG		BUILDING SECTION TAG
	FRAME/WINDOW TAG		WALL SECTION TAG
	WALL TAG	A View Name 1 1/2" = 1'-0" View Description	VIEW TITLE
	GRID BUBBLE		VIEW REFERENCE
	AREA TAG		SPOT ELEVATION
	CEILING HEIGHT TAG		DOOR

CODE PLAN LEGEND

FIRE EXTINGUISHER - BY G.C.		EXISTING
TYPE "A" FIRE EXTINGUISHER CABINET - BY G.C.		
TYPE "K" FIRE EXTINGUISHER CABINET - BY G.C.		
LINE OF EXIT PATH		
MANUAL PULL STATION LOCATION		
EMERGENCY LIGHT WITH EXIT SIGN		
EMERGENCY LIGHT		
EXIT DOOR & CLEAR WIDTH	  	EGRESS CAPACITY FACTOR OCC. @ DOOR EXIT WIDTH REQUIRED EXIT DIRECTION EXIT WIDTH

PROJECT INFORMATION	
ZONING:	EXISTING UNCHANGED
CODE:	IBC 2021
CHAPTER 3: OCCUPANCY CLASSIFICATION	
OCCUPANCY GROUP:	A-2
CHAPTER 5: GENERAL BUILDING HEIGHTS AND AREAS	
OCCUPANCY (CONSTRUCTION TYPE):	V-B
ALLOWABLE AREA PER TABLE 506.2:	24,000 SF
ACTUAL AREA:	4,105 SF
ALLOWABLE STORIES / HEIGHT:	2 STORIES / 60'
ACTUAL STORIES / HEIGHT:	1 STORIES / 31'
CHAPTER 9: FIRE PROTECTION SYSTEMS	
FULLY SPRINKLERED:	YES, MODIFIED EXISTING TO REMAIN
CHAPTER 10: MEANS OF EGRESS	
MAXIMUM TRAVEL DISTANCE:	250'
ACTUAL MAX TRAVEL DISTANCE:	84'-6"
DOOR WIDTH REQUIRED:	0.15 INCH PER OCCUPANT
	0.15" x 182 OCC = 27.3"
ACTUAL DOOR WIDTH:	104" PROVIDED

OCCUPANT LOAD CALCULATION:

WAITING:	188 SF @ 1/15 SF = 13
BAR:	172 SF @ 1/200 SF = 1
DISHWASH:	491 SF @ 1/200 SF = 3
KITCHEN:	353 SF @ 1/200 SF = 2
EXPO:	245 SF @ 1/200 SF = 2
COOLER:	135 SF @ 1/300 SF = 1
FREEZER:	79 SF @ 1/300 SF = 1
MECHANICAL:	79 SF @ 1/300 SF = 1
TOTAL:	24

INTERIOR SEATS = 42+56+36=134 (ACTUAL SEAT COUNT)

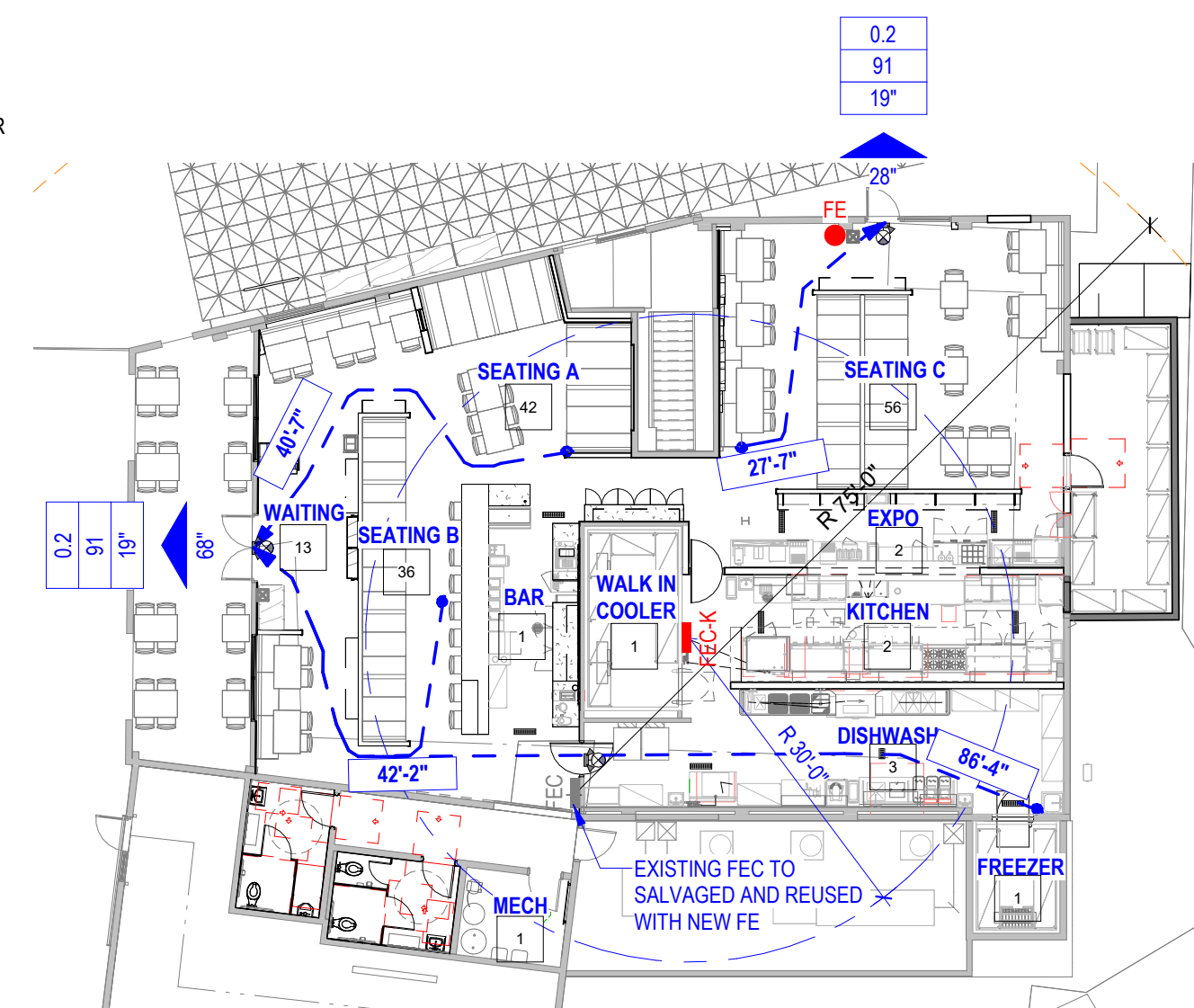
EXTERIOR SEATS = 24 (ACTUAL SEAT COUNT)

TOTAL SEATS = 158

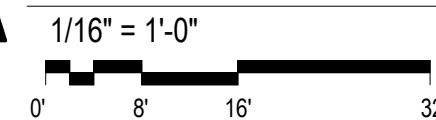
TOTAL OCCUPANTS = (158+24)= 182 = 91F, 91M

PLUMBING FIXTURES

WATER CLOSETS REQUIRED:	FEMALE: 2, MALE: 2
WATER CLOSETS PROVIDED:	FEMALE: 2, MALE: 1, URINALS 1
LAVATORIES REQUIRED:	FEMALE: 1, MALE: 1
LAVATORIES PROVIDED:	FEMALE: 1, MALE: 1



1ST FLOOR CODE PLAN



FIRE SAFETY

AUTOMATIC SUPPRESSION SYSTEM:	EXISTING TO REMAIN MODIFIED PER NEW LAYOUT
FIRE ALARM SIGNALING SYSTEM:	EXISTING TO REMAIN MODIFIED PER NEW LAYOUT
EMERGENCY LIGHTING BACKUP:	EXISTING TO REMAIN MODIFIED PER NEW LAYOUT
FIRE ALARM CONTROL PANEL:	EXISTING TO REMAIN MODIFIED PER NEW LAYOUT
FIRE DEPARTMENT CONNECTIONS:	EXISTING TO REMAIN
FIRE DEPARTMENT ACCESS/HYDRANTS:	EXISTING TO REMAIN
DISTANCE TO PROPERTY LINE:	EXISTING TO REMAIN

ANY MODIFICATIONS MADE TO THE EXISTING SYSTEMS MUST BE COORDINATED WITH THE ARCHITECT

PROJECT TEAM

DESIGNER

HUTTON
111 N. SYCAMORE
WICHITA, KS 67203
316.942.8855
www.huttonbuilds.com

DESIGN CONTACT: KARLYN LALANNE
klalanne@huttonbuilds.com

MEP

EMPOWERED
316.559.1151
www.empowered.build

CONTACT: MANROJ SANGHA
msangha@emp-ks.net

KITCHEN EQUIPMENT

FORD
6400 GLENWOOD
BLDG 4, SUITE 301
OVERLAND PARK, KS 66202
314.480.4089
www.fordstl.com

CONTACT: JANICE LARY
jlary@fordstl.com

STRUCTURAL

WALLACE DESIGN CO.
5100 W JB HUNT DR
SUITE 250
ROGERS, AR 72758
479.364.0194
www.wallace.design

CONTACT: CHRIS LANG
chris.lang@wallace.design