



AIA[®] Document G709[™] – 2018

Proposal Request

PROJECT: *(name and address)*

AWSOM

Bentonville, Arkansas

CONTRACT INFORMATION:

Contract For:

General Construction

Date:

11-29-2021

Architect's Project Number: 993A

Proposal Request Number: 127

Proposal Request Date: 04-21-2025

OWNER: *(name and address)*

AWSOM Lands, LLC

PO Box 2030

Bentonville, AR 72712

ARCHITECT: *(name and address)*

Polk Stanley Wilcox Architects

300 W. Dickson Street

Fayetteville, AR 72701

CONTRACTOR: *(name and address)*

Crossland Construction Company

1800 S. 52nd Street, Suite 410

Rogers, AR 72758

The Owner requests an itemized proposal for changes to the Contract Sum and Contract Time for proposed modifications to the Contract Documents described herein. The Contractor shall submit this proposal within Five (5) days or notify the Architect in writing of the anticipated date of submission.

(Insert a detailed description of the proposed modifications to the Contract Documents and, if applicable, attach or reference specific exhibits.)

Refer to the attached Proposal Request 127 Narrative listing revised drawings with brief description of changes.

THIS IS NOT A CHANGE ORDER, A CONSTRUCTION CHANGE DIRECTIVE, OR A DIRECTION TO PROCEED WITH THE WORK DESCRIBED IN THE PROPOSED MODIFICATIONS.

REQUESTED BY THE ARCHITECT

ARCHITECT *(Signature)*

BY: Mark Herrmann, AIA

(Printed name, title, and license number if required)

PROPOSAL REQUEST 127

Transformer Pad Grading

ISSUED: April 21, 2025

PROJECT: AWSOM
BENTONVILLE, AR

FROM ARCHITECT: POLK STANLEY WILCOX ARCHITECTS
801 SOUTH SPRING ST.
LITTLE ROCK AR 72201

TO CONTRACTOR: CROSSLAND CONSTRUCTION COMPANY, INC

PROPOSAL REQUEST 127 BRIEF

This PR updates the grading around the transformer pad and equipment enclosure.

NEW DRAWING SHEETS

1) LANDSCAPE ARCHITECTURAL

- a) Refer to Revised Sheet **L771**, with original issue date 04.21.2025.
- Added Grading Enlargement for the L1 Mechanical Enclosure.
 - Updated grading surrounding the transformer enclosure.
 - Updated grading of the transformer pad.
 - Added retaining wall on the NW corner of the enclosure.
 - Added (1) area drain and (1) trench drain.
 - Removed (2) area drains.

REVISED DRAWING SHEETS

2) LANDSCAPE ARCHITECTURAL

- a) Refer to Revised Sheet **A000B**, with original issue date 10.21.2023 and revised date 04.21.2025.
- Updated sheet issuance for PR 127.
- b) Refer to Revised Sheet **L102**, with original issue date 03.13.2023 and revised date 04.21.2025.
- Added MSE Wall Maintenance Strip.
 - Added (2) landscape boulders.
 - Added 6" wide reinforced CIP Retaining wall.
- c) Refer to Revised Sheet **L302**, with original issue date 03.13.2023 and revised date 04.21.2025.
- Updated grading at the transformer enclosure.
- d) Refer to Revised Sheet **L916**, with original issue date 08.29.2024 and revised date 04.21.2025.

- Added detail 4, MSE Wall Maintenance Strip.

End of PR 127

Sheet No. Sheet Title

General

L000	Drawing list, symbols + Abbreviations
L000A	Drawing List Continued
L000B	Drawing List Continued
L001	Symbols, Abbreviations, Legends

Reference Plan

L010	Reference Plan
L011	LSD Site Plan

Site Preparation

LSP-0	Site Preparation - Key Plan, Legend and Notes
LSP-1	Site Preparation Plan 1/3
LSP-2	Site Preparation Plan 2/3
LSP-3	Site Preparation Plan 3/3

Materials

L100	Materials - Key Plan, Legend and Notes
L101	Materials Plan - Ground Floor 1/3
L102	Materials Plan - Ground Floor 2/3
L103	Materials Plan - Ground Floor 3/3
L104	Materials Plan - Roof 1/2
L105	Materials Plan - Roof 2/2
L106	Materials Plan - Roof Level 3

Layout - Hardscape

L200A	Layout - Hardscape - Key Plan, Legend and Notes
L200B	Layout - Hardscape - Data Chart
L201	Layout - Hardscape - Groundfloor 1/3
L202	Layout - Hardscape - Groundfloor 2/3
L203	Layout - Hardscape - Groundfloor 3/3
L204	Layout - Hardscape - Roof 1/2
L205	Layout - Hardscape - Roof 2/2

Layout - Furnishings

L210	Layout - Furnishings - Key Plan, Legend and Notes
L211	Layout - Furnishings - Ground Floor 1/3
L212	Layout - Furnishings - Ground Floor 2/3
L213	Layout - Furnishings - Ground Floor 3/3
L214	Layout - Furnishings - Roof 1/2
L215	Layout - Furnishings - Roof 2/2

Layout - Lighting

L220A	Layout - Lighting - Key Plan, Legend and Notes
L221	Layout - Lighting - Ground Floor 1/3
L222	Layout - Lighting - Ground Floor 2/3
L223	Layout - Lighting - Ground Floor 3/3
L224	Layout - Lighting - Roof 1/2
L225	Layout - Lighting - Roof 2/2

Layout - Wayfinding

L231	Layout - Wayfinding - Ground Floor 1/3
L232	Layout - Wayfinding - Ground Floor 2/3
L233	Layout - Wayfinding - Ground Floor 3/3
L234	Layout - Wayfinding - Roof 1/2
L235	Layout - Wayfinding - Roof 2/2

Grading

L300	Grading Plan - Key Plan, Legend and Notes
L301	Grading Plan - Ground Floor 1/3
L302	Grading Plan - Ground Floor 2/3
L303	Grading Plan - Ground Floor 3/3
L304	Grading Plan - Roof 1/2
L305	Grading Plan - Roof 2/2
L306	Grading Plan - Roof - Level 3

Planting Soils

L400	Planting Soils - Key Plan, Legend and Notes
L401	Planting Soils - Ground Floor 1/3
L402	Planting Soils - Ground Floor 2/3
L403	Planting Soils - Ground Floor 3/3
L404	Planting Soils - Roof 1/2
L405	Planting Soils - Roof 2/2

Planting

L500A	Planting - Key Plan, Legend and Notes
L500B	Planting Schedule 1/4
L500C	Planting Schedule 2/4
L500D	Planting Schedule 3/4
L500E	Planting Schedule 4/4
L501	Planting Plan - Ground Floor 1/3
L502	Planting Plan - Ground Floor 2/3
L503	Planting Plan - Ground Floor 3/3
L504	Planting Plan - Roof 1/2
L505	Planting Plan - Roof 2/2
L506	Tree Planting Plan - Ground Floor 1/3
L507	Tree Planting Plan - Ground Floor 2/3
L508	Tree Planting Plan - Ground Floor 3/3
L509	Tree Planting Plan - Roof 1/2
L510	Tree Planting Plan - Roof 2/2
L511	Shrub Planting Plan - Ground Floor 1/3
L512	Shrub Planting Plan - Ground Floor 2/3
L513	Shrub Planting Plan - Ground Floor 3/3
L514	Shrub Planting Plan - Roof 1/2
L515	Shrub Planting Plan - Roof 2/2

4 Drawing List (Continued)
Scale: N/A

Sheet No. Sheet Title

Sections

L600	1 - Parking + Swale
	2 - Pond + Wetland Terrace
L610	1 - Tail - Grotto
	2 - Sleep Roof Cross Section
L611	1 - L4 Terrace Section

Basin & Runnel Enlargements - Plans

L700A	Enlargements Key Plan - Woodland Amphitheater and Welcome Plaza
L700B	Enlargements Key Plan - Stone Paving and Benches
L701	Woodland Amphitheater Enlargement 1 - Materials
L702	Woodland Amphitheater Enlargement 2 - Materials
L703	Welcome Plaza Enlargement - Materials
L704	Amphitheater Enlargement 1 - Layout
L705	Amphitheater Enlargement 2 - Layout
L706A	Welcome Plaza Enlargement 1 - Layout - Hardscape
L706B	Welcome Plaza Enlargement 1 - Layout - Lighting
L707	Amphitheater Enlargement 1 - Grading
L708	Amphitheater Enlargement 2 - Grading
L709	Welcome Plaza Enlargement 1 - Grading
L710	Woodland Amphitheater Section
L711	Amphitheater Seat Wall Sections and Schedule
L712	Woodland Amphitheater Stone Stair Schedule
L720	Basin 1 and Runnel Plans
L720A	Cascade Falls Details
L721	Basin 2 Plans
L722	Basin 3 Plans
L723	Basin Sections
L724	Basin Sections
L725	Basin Sections
L730	Runnel - 3d Views
L731	Runnel and Basin Section Elevation
L732	Runnel Stone Schedule
L733	Runnel Stone Schedule
L734	Runnel Stone Schedule
L735	Runnel Stone Schedule
L750	Roof Tail Flake Stone Enlargement
L751	Cafe Plaza Stone Enlargement
L752	Prospect Bluff Stone Enlargement
L753	Healing Garden Stone Enlargement
L754	Winter Terrace Stone Enlargement
L755	Stone Schedules
L761	Teaching Garden Enlargement - Layout
L762	Teaching Garden Enlargement - Grading
L771	L1 Mechanical Enclosure Enlargement - Grading

L790	Water Feature - Details
L791	Water Feature - Details

Details

L901	Details - Paving
L902	Details - Paving
L903	Details - Paving, Walls, Curbs
L904	Details - Furnishing
L905	Details - Furnishing
L906	Details - Stairs, Drains, Handrails
L907	Details - Fencing
L908	Details - Lighting
L909	Details - Boardwalk
L910	Details - Boardwalk
L911	Details - Planting
L912	Details - Soils
L913	Details - Roof Drain Access
L914	Details - Teaching Garden
L915	Details - Teaching Garden
L916	Details

Irrigation Drawings

I101	Ground Floor Irrigation Plan 1
I102	Ground Floor Irrigation Plan 2
I103	Ground Floor Irrigation Plan 3
I104	Irrigation Roof Plan
I105	Irrigation Details
I106	Irrigation Details

Water Feature Drawings

WF101	Water Feature Site Plan
WF102	Water Feature Piping Plan
WF201	Runnel Hydraulic Schematic
WF202	Basins 2 & 3 Hydraulic Schematic
WF301	Water Feature Equipment
WF302	Water Feature Equipment
WF401	Water Feature Section and Details
WF501	Water Feature Fabrication and General Details
WF601	Water Feature Electrical Plan
WF602	Water Feature Electrical Details



801 South Spring Street
Little Rock, AR 72201
501.378.8878 office

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polkstanleywilcox.com

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McClendon Consulting Engineers, Inc.
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LANDSCAPE
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STRUCTURAL
MartinMartin Consulting Engineers
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BENTONVILLE, AR 72712
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MEPF + LOW VOLTAGE
Henderson Engineers
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LENEXA, KS 66214
P: 913.860.6187

SUSTAINABILITY
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P: 312.360.4121

SIGNAGE - WAYFINDING
TWO TWELVE
238 W. 27th St., SUITE B02
NEW YORK, NY 10001
P: 212.254.8670

FOOD SERVICE
JME HOSPITALITY
8608 SW FINES DR., SUITE B210
THE WOODLANDS, TX 77380
P: 832.641.2222

WATER FEATURES
OTL
2150 S. TOWNE CENTER, SUITE 100
ANAHAIM, CA 92806
P: 714.637.4747

IRRIGATION
WC3 DESIGN
11A ROBINSON MANOR BLVD.
WICKESBURG, PA 14138
P: 844.231.7042

PSW Job Number:

933A



AWSOM
Bentonville, AR

1

Issue Date:
10.21.2024

REVISIONS		
NUMBER	DATE	DESCRIPTION
1	10.21.2024	ASI 028
2	03.09.2025	PR 0096
3	12.13.2024	ASI 030
4	01.17.2025	PR 104
5	01.21.2025	PR 107
6	01.31.2025	ASI 031
7	02.12.2025	PR 114
8	02.14.2025	ASI 033
9	03.13.2025	ASI 036
10	03.28.2025	ASI 038
11	04.02.2025	ASI 039
12	04.03.2025	PR 121
13	04.03.2025	PR 120
14	04.17.2025	ASI 040
15	04.17.2025	PR 122
16	04.21.2025	PR 127

Contents:

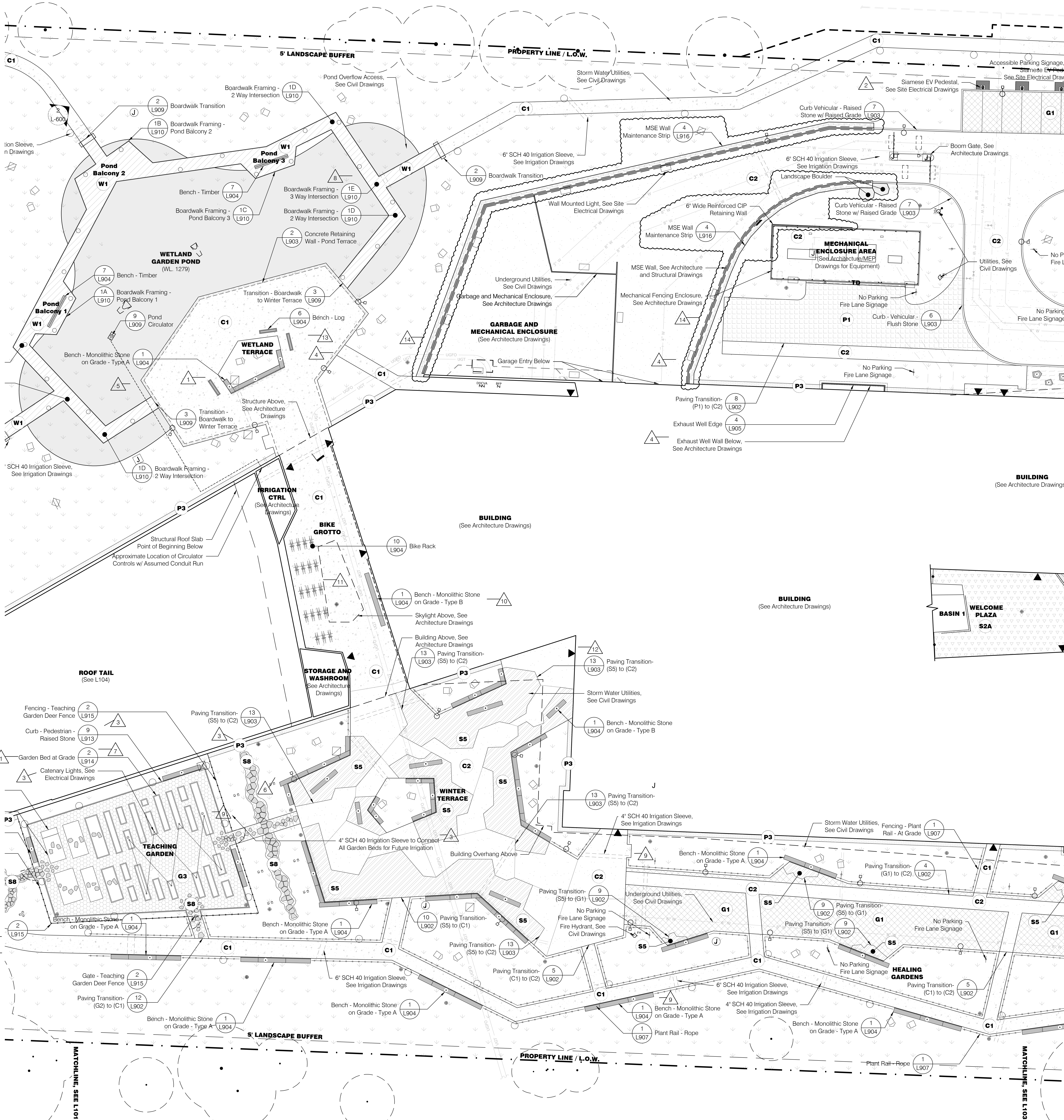
Drawing List, Symbols
and Abbreviations

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1

L000B

BENTONVILLE PROJECT NUMBER LSD22-0068



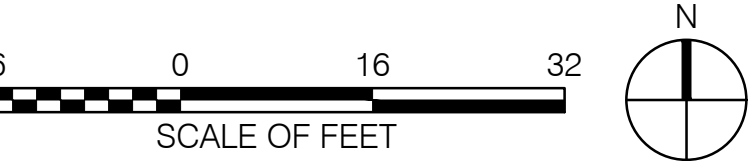
General Legend

- Existing Tree to Remain
- Property Line
- Limit of Work
- Right of Way
- Building Entry
- Light Poles, See Site Electrical Drawings
- Wall Mounted Lights, See Site Electrical Drawings
- Bollard Lights, See Site Electrical Drawings
- Tree Uplights, See Site Electrical Drawings
- Charging Pedestal, See Site Electrical Drawings
- Wireless Access Pole, See Site Electrical Drawings
- GFCI Receptacle, See Site Electrical Drawings
- Storm Water Catch Basin, See Civil Drawings
- Sanitary Manhole, See Civil Drawings
- Water Utility Access, See Civil Drawings
- Fire Hydrant, See Civil Drawings
- Gas Utility Access, See Civil Drawings
- Pond Overflow Access, See Civil Drawings
- Landscape Area Drain Inlet, See Civil Drawings
- Landscape Underdrain, See Civil Drawings
- Roof Drain, See Architecture Drawings

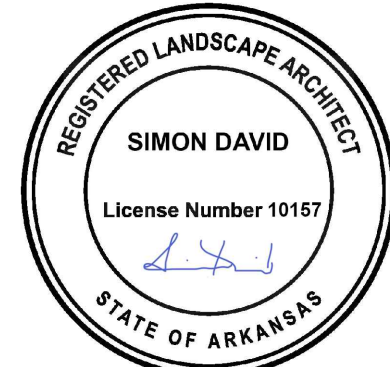
Materials Legend

- Grass Pave - Vehicular (P1)
- Maintenance Path - Gravel Strip (P3)
- Gravel - Vehicular (G1)
- Gravel - Pedestrian Stabilized (G2)
- Gravel - Pedestrian (G3)
- Concrete Paving - Pedestrian - Exposed Aggregate (C1)
- Concrete Paving - Vehicular - Exposed Aggregate (C2)
- Wood - Boardwalk (W1)
- Stone Paving - On Uninsulated Structure (S2A)
- Stone Paving - Plaza - On Grade (S2B)
- Stone Paving - Winter Terrace - On Grade (S5)
- Stone Paving - Plaza - On Grade (S7)
- Decomposed Granite (G4)
- Planted Area
- Water
- Bench - Monolithic Stone on Grade, Type A
- Bench - Monolithic Stone on Grade, Type B
- Bench - Log
- Bench - Timber
- Stump - Small Trunk
- Bike Rack
- Receptacle Bin
- Plaza Stone
- Plant Rail - Rope
- Plant Rail - Rope
- Fencing - Teaching Garden Deer Fence
- 4" SCH 40 Irrigation Sleeve, See Irrigation Drawings
- 6" SCH 40 Irrigation Sleeve, See Irrigation Drawings
- Siamese EV Pedestal, See Site Electrical Drawings
- Community Lawn Block Bench

1 Materials Plan - Ground Floor 2
Scale: 1/16" = 1'-0"



PSW Job Number:
933A

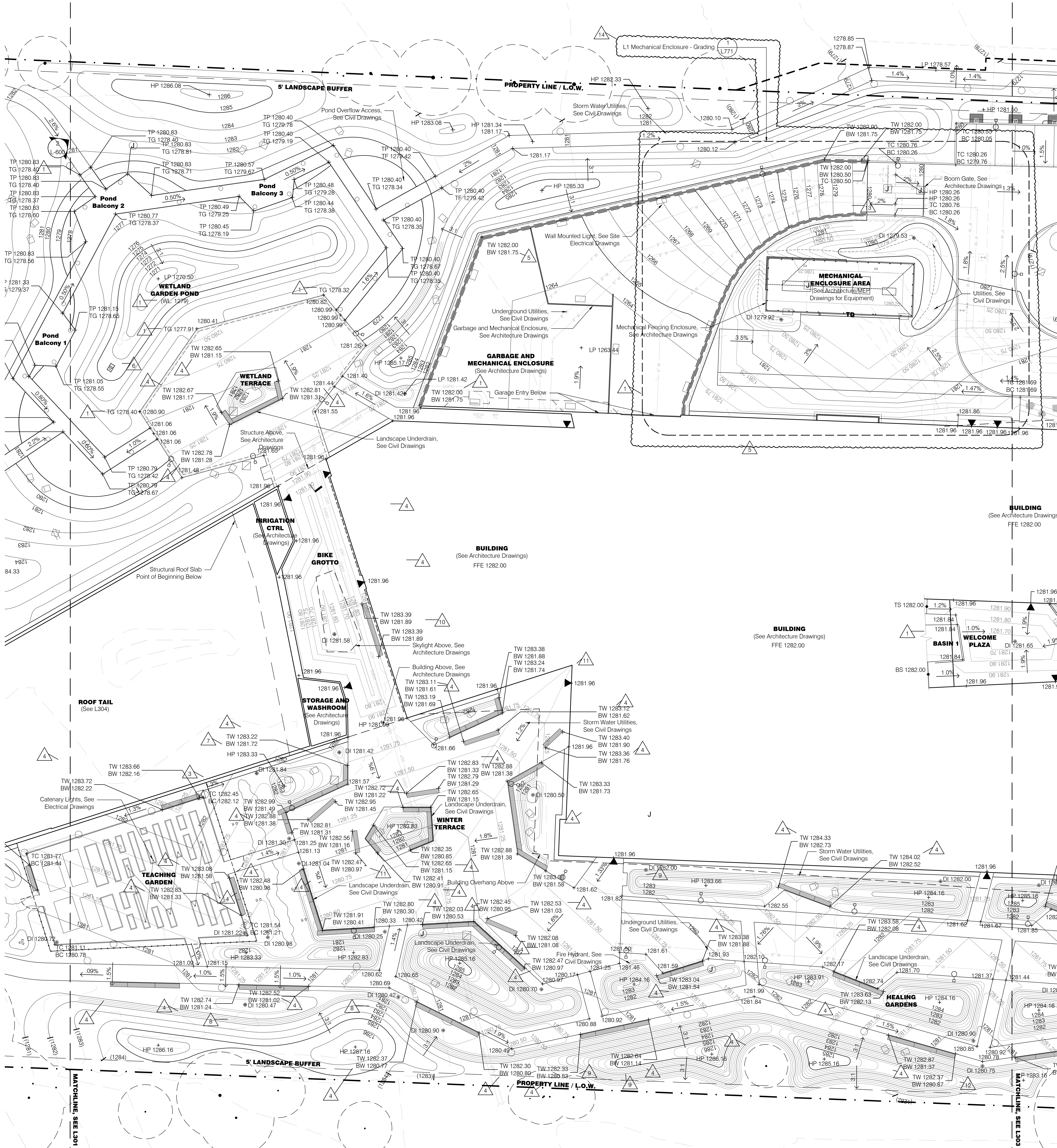


AWSOM
Bentonville, AR

Issue Date:
03.13.2023

REVISIONS		
NUMBER	DATE	DESCRIPTION
1	03.13.2023	ADDITIONAL
2	04.09.2023	ADDITIONAL
3	04.04.2023	PER
4	04.04.2024	PR 029
5	06.05.2024	PR 024
6	07.05.2024	PR 025
7	07.08.2024	AS 100
8	11.27.2024	PR 018
9	10.10.2024	AS 109
10	11.13.2024	AS 100
11	01.21.2025	PR 107
12	01.13.2025	AS 101
13	03.13.2025	AS 106
14	04.21.2025	PR 107

Contents:
Materials Plan -
Ground Floor 2/3



General Legend

- Existing Tree to Remain
- Property Line
- Limit of Work
- Right of Way
- Building Entry
- Light Poles, See Site Electrical Drawings
- Wall Mounted Lights, See Site Electrical Drawings
- Bollard Lights, See Site Electrical Drawings
- Tree Uplights, See Site Electrical Drawings
- Charging Pedestal, See Site Electrical Drawings
- Wireless Access Pole, See Site Electrical Drawings
- GFCI Receptacle, See Site Electrical Drawings
- Storm Water Catch Basin, See Civil Drawings
- Sanitary Manhole, See Civil Drawings
- Water Utility Access, See Civil Drawings
- Fire Hydrant, See Civil Drawings
- Gas Utility Access, See Civil Drawings
- Pond Overflow Access, See Civil Drawings
- Landscape Area Drain Inlet, See Civil Drawings
- Landscape Underdrain, See Civil Drawings
- Roof Drain, See Architecture Drawings

Grading Legend

- Proposed Major Contour
- Proposed Minor Contour
- Proposed Micro Contour
- Existing Major Contour
- Existing Minor Contour
- Proposed Elevation
- Existing Elevation
- Slope Direction (Horizontal:Vertical)
- Drain Inlet, See Civil Drawings
- Top of Wall
- Bottom of Wall
- Top of Paving
- Top of Grade
- High Point
- Low Point
- Drain Inlet
- Water Line

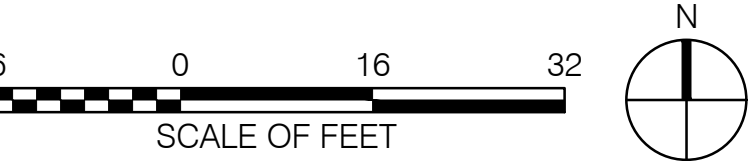
Slope Stabilization Legend

- Erosion Control Mesh -1
Slopes Greater Than 1:5.1
(Horizontal:Vertical) Use GeoCoir
Mesh Model #900 or Approved Equal
- Erosion Control Mesh -2
Slopes Between 3:1 & 1.5:1
(Horizontal:Vertical) Use GeoCoir Mesh
Model #700 or Approved Equal

Grading Notes

- The Contractor shall layout and determine the elevations of all site elements and proposed utilities for approval by the Landscape Architect prior to the start of construction. The Contractor shall report any discrepancies in writing to the Landscape Architect. The Contractor shall provide elevations simultaneously with layout.
- The Contractor shall field verify grades and notify the Construction Manager of any discrepancies for resolution prior to starting construction operations. The Contractor shall not proceed under uncertainty and shall assume full responsibility of all costs for revisions due to failure to give such notifications.
- The Contractor shall be responsible for positive surface drainage in all areas, unless otherwise noted. All newly graded ground surfaces shall be finished to uniform grades and sloped in such a manner as to drain properly and be free of depressions that cause areas of standing water. Where proposed grades meet existing, blend grades to provide a smooth transition between the new work and the existing work. Ponding at joints will not be accepted.
- All grading shall be completed in a way to maintain positive drainage away from all structures. The Contractor shall report any conflicts with this requirement to the Construction Manager for resolution prior to final grading operations.
- When rough grading of subgrade is complete, the Contractor must give Construction Manager and Landscape Architect notice for on-site review prior to and placement of planting soils and finish grading.
- During the review of rough grading and finish grade grading stakes, the Landscape Architect may make minor adjustments to rough grading without incurring additional cost to the project.
- The Contractor shall adjust all utility elements or covers (including but not limited to: clean outs, manholes, catch basins, inlets, gate valves) to be flush with the final finish grade whether shown on the Drawings or not.

Grading Plan - Ground Floor 2
Scale: 1/16" = 1'-0"



PSW Job Number:
933A



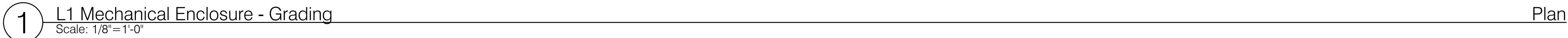
AWSOM
Bentonville, AR

Issue Date:
03.13.2023

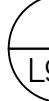
REVISIONS		
NUMBER	DATE	DESCRIPTION
1	03.13.2023	ADDENDUM 1
2	04.09.2023	ADDENDUM 2
3	04.04.2023	PR 64
4	12.08.2023	ASB 002
5	04.04.2024	PR 029
6	02.09.2024	PR 054
7	07.26.2024	PR 055
8	11.27.2024	PR 070
9	10.10.2024	ASB 029
10	12.13.2024	ASB 030
11	01.31.2025	ASB 031
12	03.13.2025	ASB 036
13	04.17.2025	PR 122
14	04.21.2025	PR 127

Contents:

Grading Plan -
Ground Floor 2/3



General Legend

	Property Line
	Limit of Work
	Right of Way
	Building Entry
	Landscape Area Drain Inlet, See Civil Drawings
	 Trench Drain
	 Slot Drain
	Roof Drain, See Architecture Drawings
	Light Poles, See Site Electrical Drawings
	Bollard Lights, See Site Electrical Drawings
	Tree Uplights, See Site Electrical Drawings
	Charging Pedestal, See Site Electrical Drawings
	Wireless Access Pole, See Site Electrical Drawings
	GFCI Receptacle, See Site Electrical Drawings

AWSOM
Bentonville, AR

REVISIONS		
NUMBER	DATE	DESCRIPTION

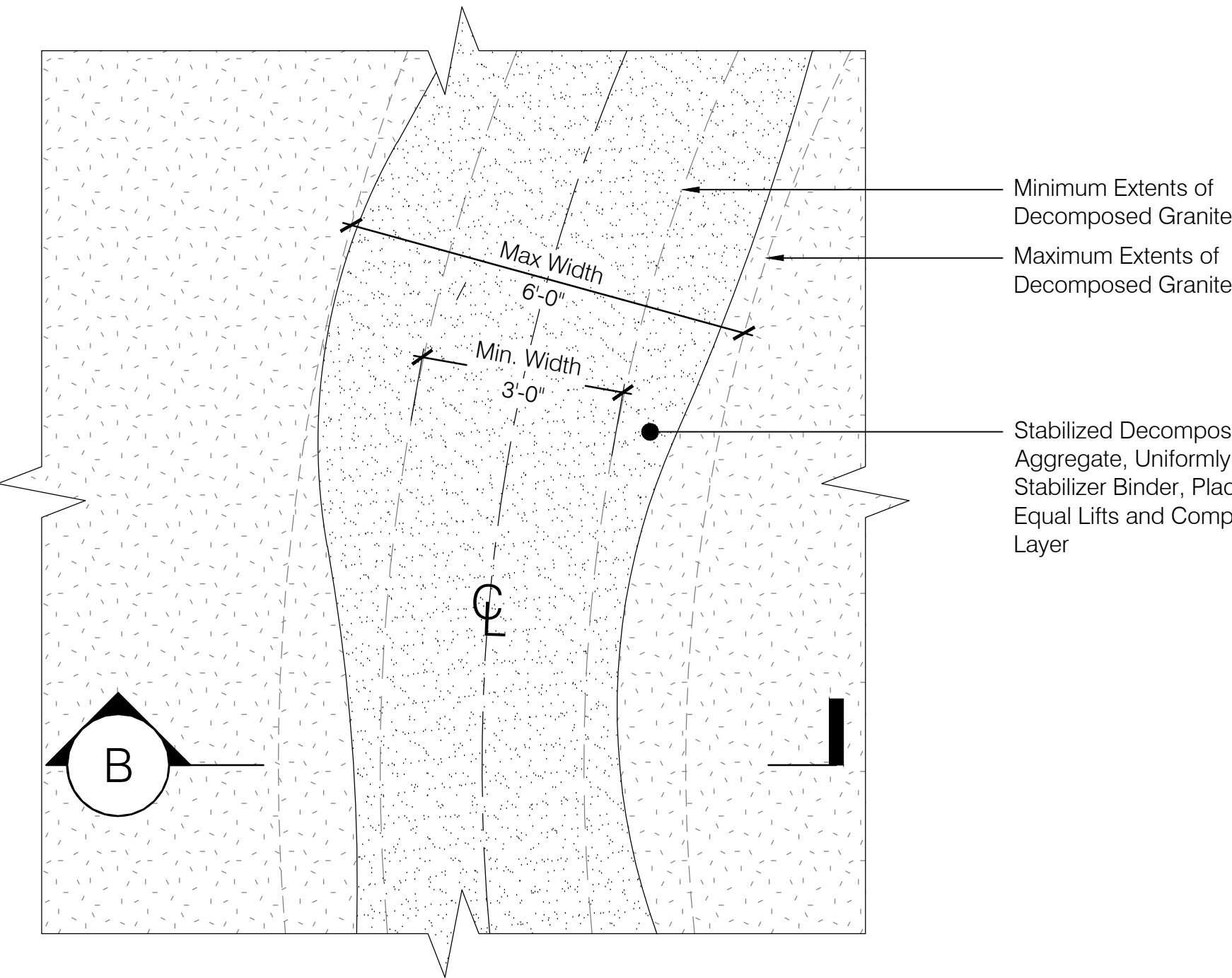
Contents:

L1 Mechanical
Enclosure - Grading

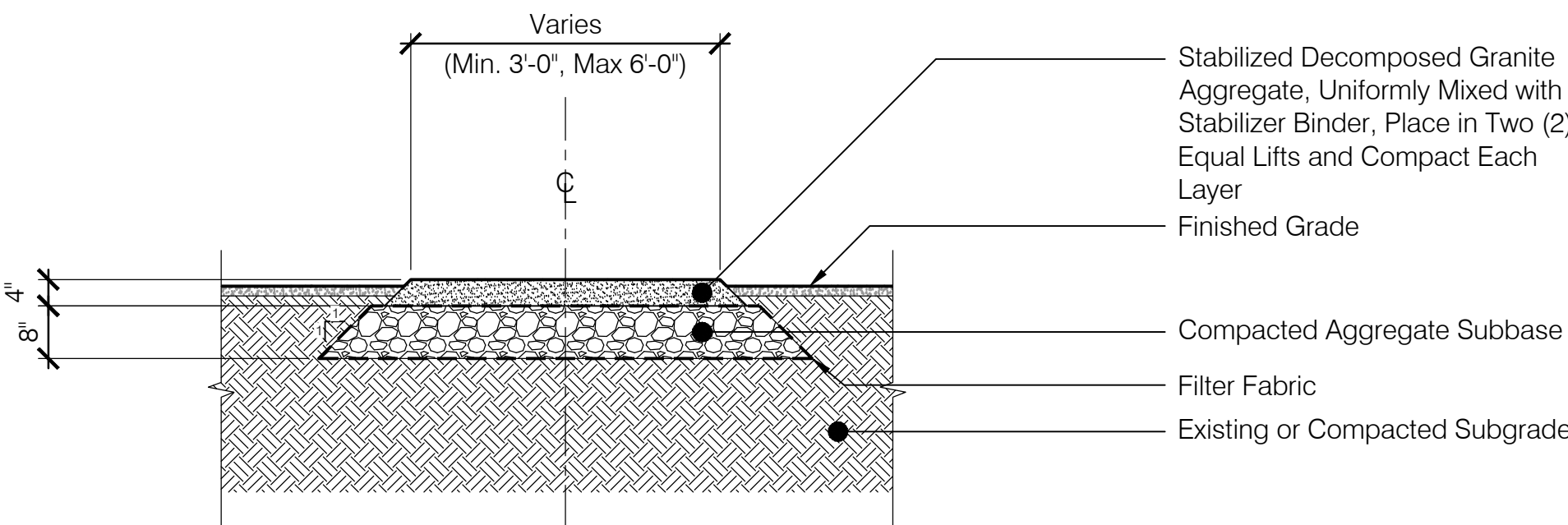
L771



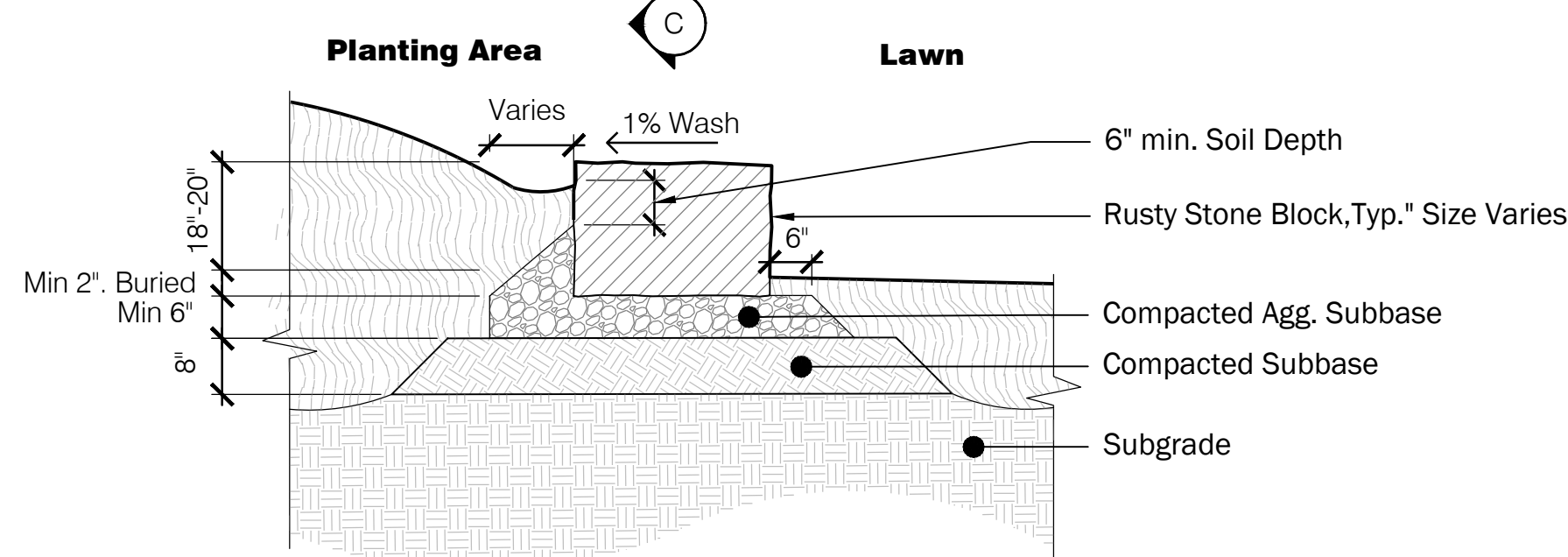
- Notes:**
1. Stabilized Decomposed Granite to Include Integrated Stabilizer by Organic Lock
 2. Contractor to Lay Out Path Using Centerline in L200 Series, Final Alignment to be Reviewed and Approved by Landscape Architect in the Field



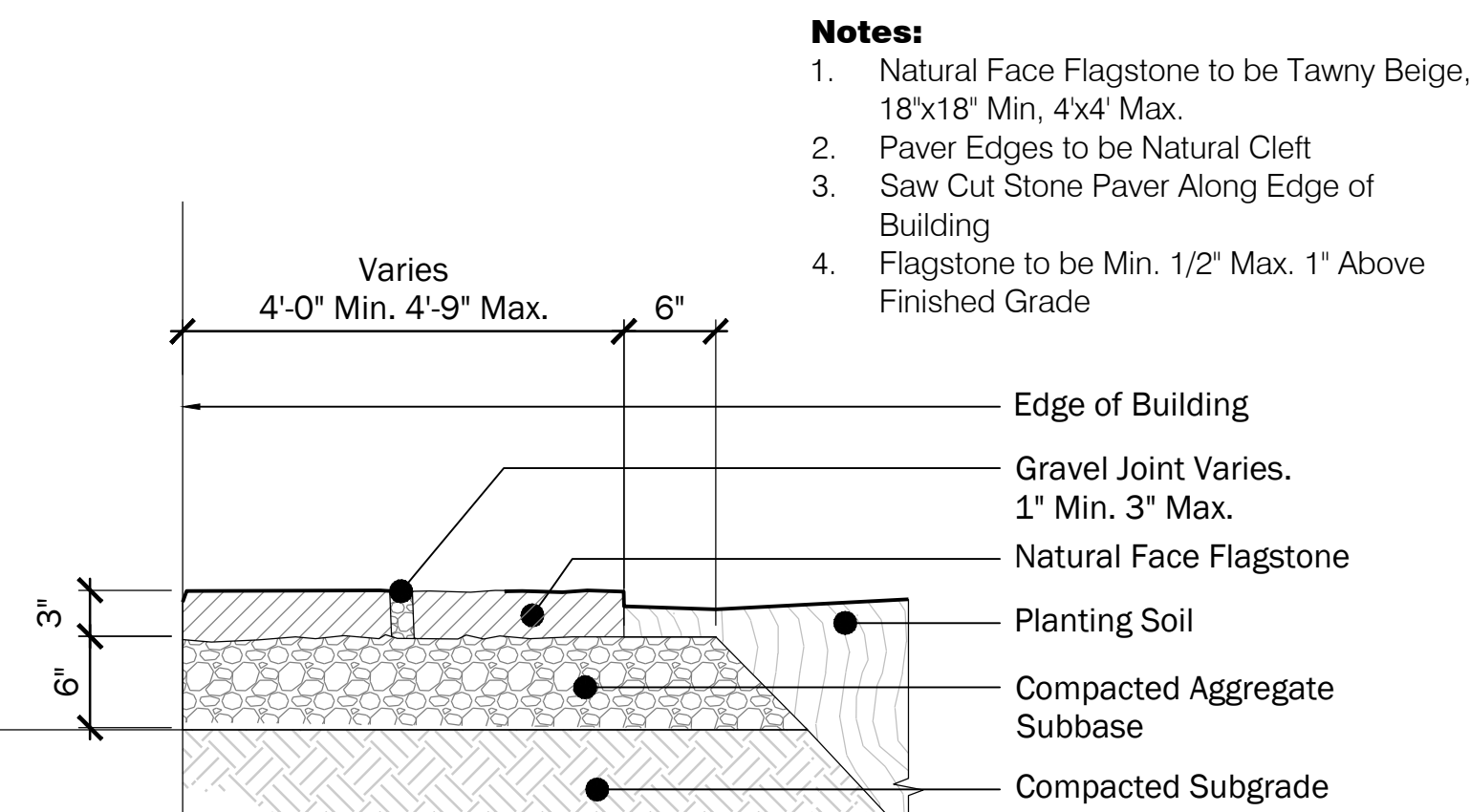
1 Decomposed Granite (G4)
Scale: 1/2" = 1'-0"



2 Community Lawn Block Bench
Scale: 1/2" = 1'-0"

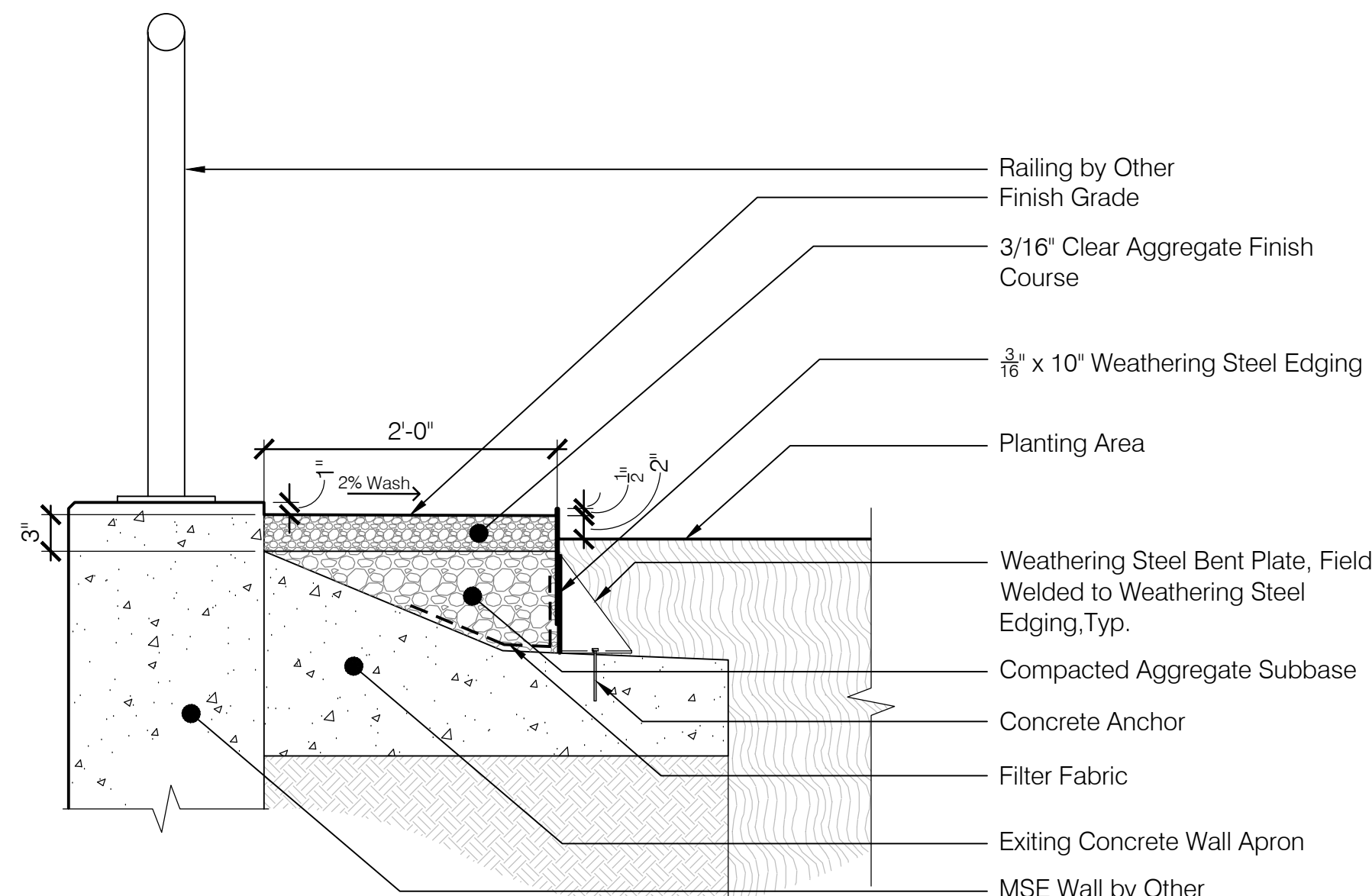


3 L4 Maintenance Path
Scale: 1" = 1'-0"

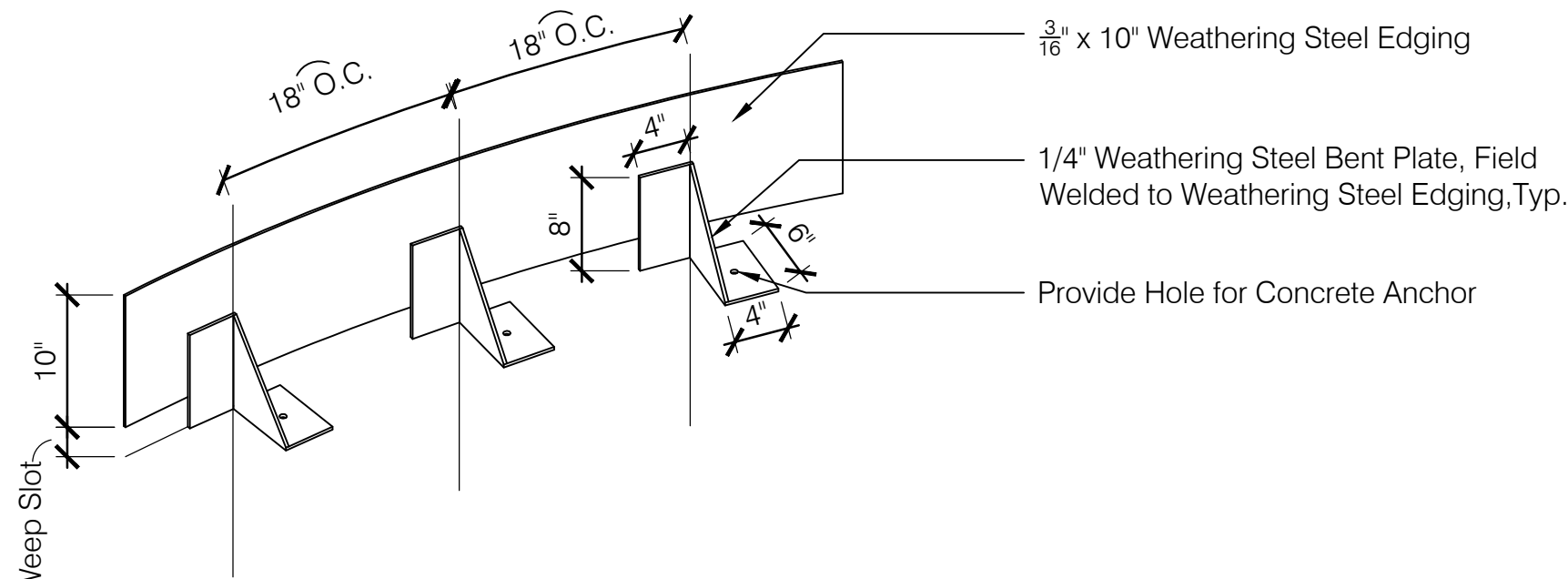


4 MSE Wall Maintenance Strip
Scale: 1/2" = 1'-0"

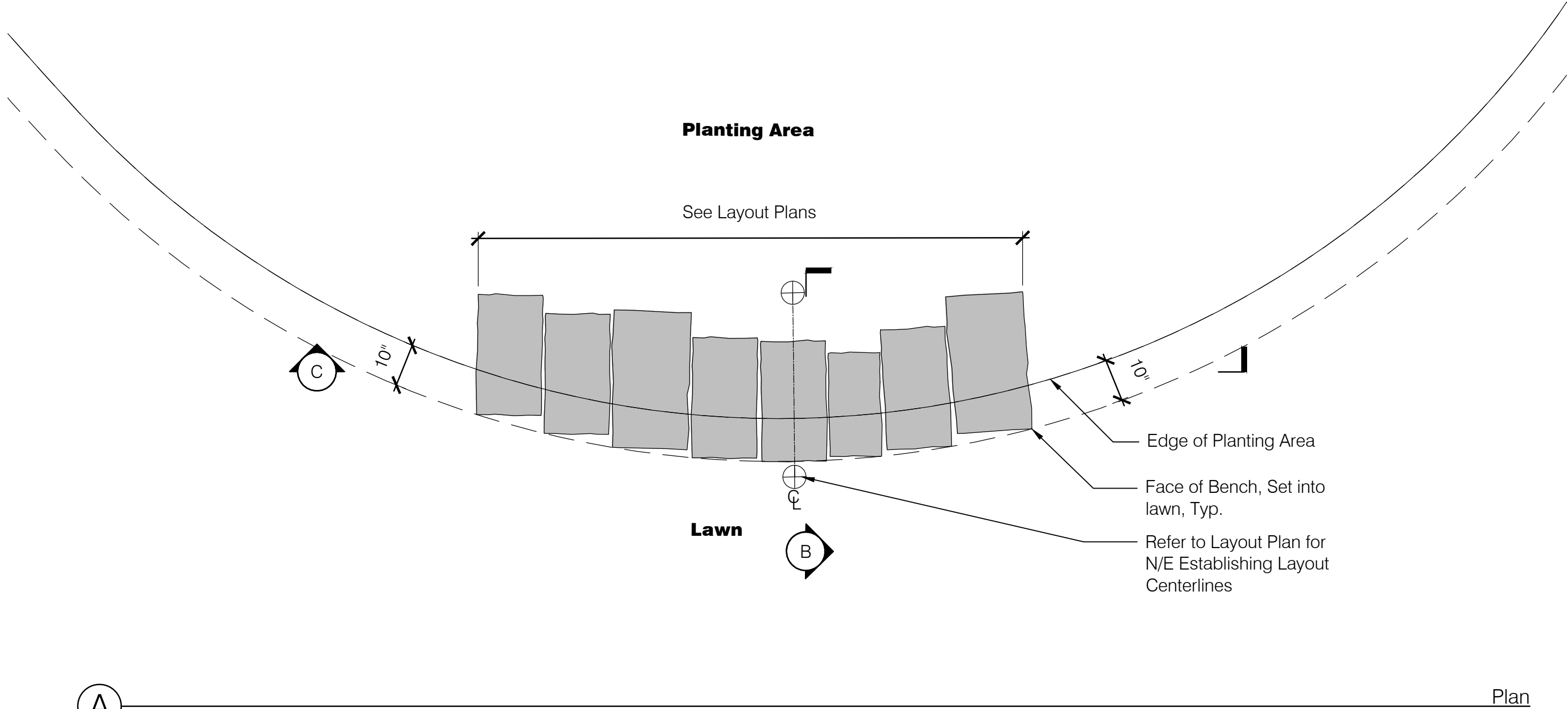
- Notes:**
1. Contractor to Field Verify as Built Dimensions of MSE Wall.



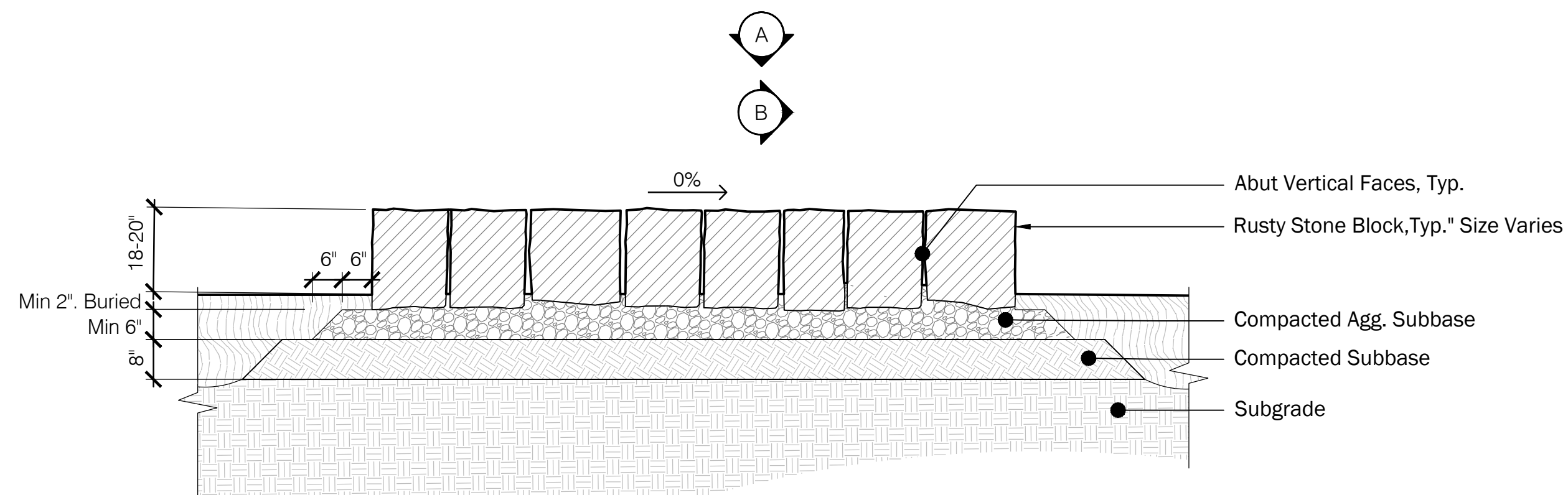
Edging



MSE Wall Maintenance Strip
Scale: 1/2" = 1'-0"



Section



Section

REVISIONS		
NUMBER	DATE	DESCRIPTION
1	11.13.2024	REV. 07/03
2	03.13.2025	ASB 036
3	04.03.2025	PR 120
4	04.23.2025	PR 127