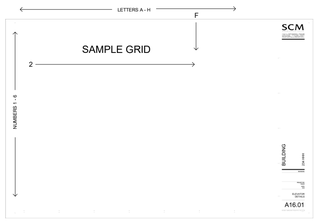
310 ARKANSAS AVE RENOVATION

UNIVERSITY OF ARKANSAS

310 Arkansas Avenue
Fayetteville, AR 72701

CSI CON DOC SYSTEM

PROJECT DRAWINGS ARE LAYED OUT USING THE CSI "CONDOC" SYSTEM.



TYPICAL DRAWING SHEET:

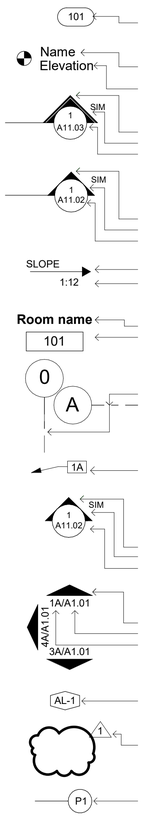
THE DRAWING/DETAIL SHEET IS BORDERED BY NUMBERS AND LETTERS CREATING A GRID. THIS GRID IS USED TO LOCATE AREAS OF THE DRAWING FOR REFERENCE AND PINPOINT DETAILS.

EXAMPLE:
NOTE THE DETAIL SYMBOL ON THE SHEET. ITS LOCATION IS "2F". IN DISCUSSION YOU WOULD SAY "LOOK AT THE DETAIL LOCATED AT "2F" ON SHEET A16.01. THIS NUMBER MAY BE KEYED INTO THE DETAIL SYMBOL AND WOULD READ "2F - A16.01."

ABBREVIATIONS

A.F.F. - ABOVE FINISH FLOOR
ALUM. - ALUMINUM
AS REQ. - AS REQUIRED
BD. - BOARD
BLDG. - BUILDING
BLK. - BLOCK
B.O.C. - BACK OF CURB
B.O.F. - BOTTOM OF FOOTING
CAB - CABINET
CER - CERAMIC
C.J. - CONTROL JOINT
C.L. - CENTER LINE
CLG - CEILING
CLR - CLEAR
CMU - CONCRETE MASONRY UNIT
COL - COLUMN
CONC - CONCRETE
CONT - CONTINUOUS
CORR - CORRIDOR
CPT - CARPET
DBL - DOUBLE
DEMO - DEMOLITION
DIA - DIAMETER
DIM - DIMENSION
DN - DOWN
DS - DOWNSPOUT
DTL - DETAIL
EA - EACH
EIFS - EXT. INSUL. FINISH SYSTEM
EJ - EXPANSION JOINT
ELEC - ELECTRICAL
ELEV - ELEVATION
E.O.S. - EDGE OF SLAB
EQ - EQUAL
EQUIP - EQUIPMENT
EXH - EXHAUST
EXIST - EXISTING
EXT - EXTERIOR
F.E.C. - FIRE EXTINGUISHER CABINET
F.F.E. - FINISH FLOOR ELEVATION
FIN. FL. - FINISH FLOOR
F.O.B. - FACE OF BRICK
F.O.C. - FACE OF CURB
F.O.S. - FACE OF STUD
FTG. - FOOTING
GYP BD - GYPSUM BOARD
GWB - GYPSUM BOARD
HM - HOLLOW METAL
INSUL - INSULATION
INT - INTERIOR
MECH - MECHANICAL
MFR - MANUFACTURER
MISC - MISCELLANEOUS
M.O. - MASONRY OPENING
MTL - METAL
N.I.C. - NOT IN CONTRACT
N.T.S. - NOT TO SCALE
O.C. - ON CENTER
O.H. - OPPOSITE HAND
OPP. - OPPOSITE
PLAM - PLASTIC LAMINATE
PLUMB - PLUMBING
PLYWD - PLYWOOD
PREFIN - PREFINISHED
RAD - RADIUS
RE: - REFERENCE
REINF - REINFORCED
REQ'D - REQUIRED
R.O. - ROUGH OPENING
SAN - SANITARY
SCHED - SCHEDULED
SIM - SIMILAR
S.S. - STAINLESS STEEL
STL - STEEL
STRUCT - STRUCTURAL
SUSP - SUSPENDED
THK - THICK
TYP - TYPICAL
U.N.O. - UNLESS NOTED OTHERWISE
VER - VERIFY
V.I.F. - VERIFY IN FEILD
WD - WOOD

SYMBOLS LEGEND



DOOR TYPE
DOOR MARK (NUMBER)

CONTROL OF DATUM POINT
DESCRIPTION OF POINT
(FIN. FLR, TOP OF PLATE, TOP OF BEAM)
ELEVATION OR POINT

BUILDING SECTION
(See Plans and Building Elevations)
DIRECTION OF VIEW
SECTION LOCATOR/NUMBER
SHEET NUMBER

WALL SECTION
(See Plans and Building Elevations)
DIRECTION OF VIEW
SECTION LOCATOR/NUMBER
SHEET NUMBER

ROOF SLOPE
(See Roof Plans)
DIRECTION OF UPWARD SLOPE
RATIO OF SLOPE

ROOM TAG
(See Plans and Building Sections)
ROOM NAME
ROOM NUMBER

GRID LINES
EXISTING COLUMN
(Letters typ. run Vertical, Numbers typ. run Horizontal)

KEY NOTE
(See Building Elevations, Building Sections, Wall Sections, Detail Views, and the Material Legend)
MATERIAL CALLOUT

BUILDING ELEVATION
(See Plans and Building Elevations)
DIRECTION OF VIEW
ELEVATION LOCATION/NUMBER
SHEET NUMBER

INTERIOR ELEVATION
(See Plans)
DIRECTION OF VIEW
ELEVATION LOCATION/NUMBER
SHEET NUMBER

WINDOW TYPE
WINDOW MARK (LETTER)

REVISION REFERENCE
NUMBER OF REVISION CORRESPONDING TO SECTION IN TITLE BLOCK

PARTITION TYPE
PARTITION MARK (NUMBER)

GENERAL NOTES

****

GENERAL CONTRACT REQUIREMENTS AFFECTING ALL TRADES

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND EACH OF THE SUBCONTRACTORS TO REVIEW ALL DRAWINGS TO ENSURE COORDINATION OF ALL WORK AFFECTING EACH TRADE.

****

1. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION TO COORDINATE THE SITING OF NEW UTILITIES AND NEW BUILDING INSTALLATION WITH EXISTING UTILITIES, EXISTING BUILDING LOCATIONS AND SITE ITEMS TO REMAIN.

2. CONTRACTOR TO COORDINATE STORAGE AND STAGING AREAS WITH OWNER'S REPRESENTATIVE TO AVOID INTERFERENCE WITH OWNER'S USE OF EXISTING BUILDINGS, PARKING AREAS, AND GROUNDS.

3. PROVIDE SECURITY, BARRIERS AND FACILITIES TO PROTECT WORK AND STORED MATERIAL FROM UNAUTHORIZED ENTRY, VANDALISM OR THEFT.

4. CONDITION AND USE OF THE JOB SITE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. JOB SITE SHALL BE MAINTAINED IN A CLEAN AND ORDERLY FASHION. DEBRIS AND TRASH FOR ALL TRADES AND SUBCONTRACTORS UNDER GENERAL CONTRACTOR CONTROL AND FOR THOSE UNDER DIRECT CONTRACT WITH THE OWNER SHALL BE REMOVED DAILY.

5. GENERAL CONTRACTOR SHALL COORDINATE DELIVERIES, INSPECTIONS, AND SITE VISITS FOR ALL TRADES AND SUBCONTRACTORS AS REQUIRED.

6. THE CONTRACTOR IS REQUIRED TO PROTECT ALL SITE ITEMS IN THE AREAS ADJACENT TO THE PROJECT CONSTRUCTION WORK AS NECESSARY TO PREVENT DAMAGE. CONTRACTOR TO BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ITEMS DAMAGED DURING CONSTRUCTION.

7. FINAL CLEANING AT SUBSTANTIAL COMPLETION SHALL INCLUDE BUT NOT TO BE LIMITED TO CLEANING OF ALL SURFACES AFFECTED BY THE WORK OF THE CONTRACT AND REMOVAL OF ANY SPOTS, STAINS, SPILLS, ETC. ON ANY SURFACES CAUSED BY CONSTRUCTION ACTIVITIES AND INCURRED DURING THE CONSTRUCTION PERIOD.

8. ALL PRODUCTS USED ON THIS PROJECT THAT ARE USED IN CONJUNCTION WITH EACH OTHER OR ADJACENT TO EACH OTHER ARE REQUIRED TO BE COMPATIBLE.

9. OWNER RETAINS THE RIGHT TO LET OTHER CONTRACTS IN CONNECTION WITH THE PROJECT WORK. GENERAL CONTRACTOR SHALL PROPERLY COOPERATE, COORDINATE AND INTERFACE CONSTRUCTION SCHEDULE WITH ANY SUCH CONTRACTORS/VENDORS, ETC.

10. CONTRACTOR IS RESPONSIBLE FOR SEALING AND PROTECTING ALL PENETRATIONS THROUGH PARTITIONS, FLOORS, CEILINGS, AND ROOF ELEMENTS BOTH NEW AND EXISTING IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES TO THE SATISFACTION OF THE BUILDING OFFICIAL.

11. CONTRACTOR SHALL INSTALL GYPSUM CONTROL JOINTS IN CEILINGS OR WALLS WHERE INDICATED ON THE CONSTRUCTION DRAWINGS OR AS RECOMMENDED BY GYPSUM BOARD MANUFACTURER NOT TO EXCEED 30'-0" RUNS MAX. COORDINATE ALL JOINT LOCATIONS NOT INDICATED WITH ARCHITECT FOR EXACT LOCATIONS TO BE INSTALLED.

12. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE MECHANICAL, PLUMBING, AND ELECTRICAL REQUIREMENTS TO COORDINATE COMPLETE AND ACCURATE INSTALLATION WITH THE CONSTRAINTS OF THE NEW BUILDING CONSTRUCTION FOR ROUTING OF UTILITIES IN A NEAT AND ORDERLY MANNER. IF A DISCREPANCY OCCURS WITH THE NEW BUILDING STRUCTURE AND INSTALLATION REQUIREMENTS THE CONTRACTOR SHALL NOTIFY THE ARCHITECT TO RESOLVE ANY ROUTING ISSUES.

13. REFER TO REFLECTED CEILING PLAN FOR CEILING HEIGHTS AND TYPES OF CEILINGS. SEE SPECIFICATIONS FOR SPECIFIED ITEM TO BE INSTALLED ON WALLS, CEILINGS AND FLOOR.

PROJECT CONTACTS

CONTACT COORDINATOR: (OWNER)

CONTACT PERSON:
UNIVERSITY OF ARKANSAS
FAYETTEVILLE, ARKANSAS

JOHN ROSS
UAF CONSTRUCTION COORDINATOR
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jrr003@uark.edu

ARCHITECT:

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28 E CENTER ST, SUITE 220
FAYETTEVILLE, AR 72701

PRINCIPAL IN CHARGE:
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PROJECT MANAGER:
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MECHANICAL
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ELECTRICAL ENGINEERS:
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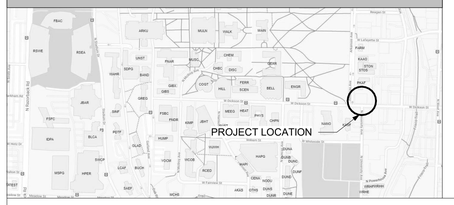
LITTLE ROCK, AR 72201

ELECTRICAL:
TONY AYCOCK
taycock@pettitinc.com

VICINITY MAP

LOCATION MAP



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E3.01 ELECTRICAL DETAILS & DIAGRAMS

NOT FOR CONSTRUCTION

June 14, 2022

I HEREBY CERTIFY THAT THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY ME, OR UNDER MY SUPERVISION. I FURTHER CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THESE PLANS AND SPECIFICATIONS ARE AS REQUIRED BY LAW AND IN COMPLIANCE WITH THE ARKANSAS FIRE PREVENTION CODE FOR THE STATE OF ARKANSAS

SCOTT LEONARD

DATE:

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www.scmarchitects.com

T1.01

SCM ARCHITECTS P.L.L.C.

REMOVE AND RE-INSTALL PAVERS IN DRIVE, IF DRIVE IS TO BE USED FOR CONSTRUCTION TRAFFIC.

REMOVE PAVERS AND STORE AT LOCATION DETERMINED BY OWNER
SAWCUT AND DEMOLISH CONCRETE SUBSLAB

REMOVE PAVERS AND STORE AT LOCATION DETERMINED BY OWNER
SAWCUT AND DEMOLISH CONCRETE SUBSLAB

SAWCUT AND DEMOLISH CONCRETE

SAWCUT AND DEMOLISH CONCRETE

7.0000

CONCRETE CROSS

CONCRETE CROSS AND FOOTING ARE TO BE DEMOLISHED. CONSULT WITH OWNER WHETHER OR NOT THERE IS ANY DESIRE TO KEEP AND STORE THE CROSS

TREE PROTECTION FENCE

SENIOR WALK IS TO BE COVERED AND PROTECTED THROUGHOUT DURATION OF CONSTRUCTION

TREE PROTECTION FENCE

SIGN

REMOVE SIGN

BLUESTONE AREA IS TO BE PROTECTED FOR THE DURATION OF CONSTRUCTION. THE CONTRACTOR MAY ELECT TO STAY OFF THE STONE OR COVER IT

S 87°04'30" E 125.02'

N 02°56'39" E 100.00'

N 87°03'21" W 125.00'

CONC. WALK

CONC.

ASPHALT

PAVERS

SENIOR WALK

CONC. CURB

ARKV - BUILDING

CONC.@ DOOR ELEV.=1372.78

RR TIE

PLAS

GAS RISER

STORM

THRES. E

TRIPLE 6" DOGWOOD

24" MAPLE

14" MAPLE

18" RCP

24" RCP

QUAZITE

BLUESTONE

ROCK WALL

BENCH

PAVERS

STORM DRAIN

WA 6

WA 12

EB

0.60'

1. STREET / LANE CLOSURES MUST BE APPLIED FOR BY THE CONTRACTOR WITHIN A MINIMUM OF 5 BUSINESS DAYS IN ADVANCE OF THE REQUESTED CLOSURE DATE.

DEMOLISH CONCRETE

REMOVE PLANTING

LANDSCAPIN

DEMOLISH WALL

12" ROCK PLANTER

DEMOLITION LEGEND

- CONCRETE TO BE DEMOLISHED
- ASPHALT TO BE DEMOLISHED
- PAVERS TO BE REMOVED
- TREE TO BE REMOVED
- TREE TO BE SAVED

NORTH

FOUND "X" IN CC

C/O 0.30'

GENERAL NOTES:

1. LOCATIONS OF THE EXISTING UTILITIES ARE BASED ON RECORDS FROM SAID UTILITY COMPANIES AND ARE HORIZONTALLY FIELD LOCATED ONLY. THE CONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING ACTUAL LOCATION.
2. CONTRACTOR TO MARK UTILITY LINES BEFORE CONSTRUCTION AND UNCOVER AS NEEDED.
3. EXISTING UTILITIES TO REMAIN SHALL BE PROTECTED. CONTRACTOR SHALL BEAR ALL RESPONSIBILITY AND COST OF REPAIR OR REPLACEMENT OF EXISTING UTILITIES, DAMAGED OR INTERRUPTED AS A RESULT OF THIS CONSTRUCTION PROJECT.
4. CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AND THE OWNER OF ANY DAMAGED OR INTERRUPTED UTILITIES IMMEDIATELY.
5. CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL EXISTING SITE CONDITIONS DISTURBED BY CONSTRUCTION ACTIVITIES BACK TO EXISTING OR BETTER CONDITION.
6. ALL SEWER LINES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF FAYETTEVILLE SEWER DEPARTMENT STANDARD SPECIFICATIONS FOR SEWER CONSTRUCTION, LATEST EDITION.
7. ALL WATER LINES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH CITY OF FAYETTEVILLE WATER DEPARTMENT STANDARD PIPELINE MATERIALS AND CONSTRUCTION SPECIFICATIONS, LATEST EDITION.
8. EXISTING UTILITIES TO REMAIN ARE TO BE PROTECTED AND ADJUSTED TO MATCH PROPOSED GRADE.
9. CONTRACTOR SHALL NOTIFY PROJECT ENGINEER PRIOR TO BEGINNING WORK.
10. AFTER NEW INLETS ARE CONSTRUCTED, GRAVEL FILTER BERMS OR SILT FENCE ARE TO BE PLACED TO ALLOW FLOW THROUGH THE EROSION CONTROL DEVICE.
11. CONTRACTOR WILL CONTROL AND PREVENT OFF-SITE TRACKING OF CONSTRUCTION RUNOFF AND SEDIMENT TO ADJACENT PROPERTY AND PUBLIC ROADS.
12. CONTRACTOR IS TO PROTECT ALL EXISTING STORM DRAINAGE SYSTEM.
13. CONTRACTOR TO CONFORM TO ALL CONSTRUCTION STORM WATER AND EROSION CONTROL PERMITTING REQUIREMENTS BY "EPA PHASE II STORM WATER REGULATIONS" AS ADMINISTERED BY THE ARKANSAS DEPARTMENT OF ENVIRONMENTAL QUALITY (ADEQ). WHERE PERMITTING IS REQUIRED, A COPY OF THE NOTICE OF INTENT SHALL BE PROVIDED TO THE LOCAL MUNICIPAL AUTHORITY.
14. CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES IN ACCORDANCE WITH THE ARKANSAS UNDERGROUND FACILITIES DAMAGE PREVENTION ACT. THIS LAW REQUIRES THAT THE CONTRACTOR MAKE A TELEPHONE CALL TO THE ARKANSAS ONE-CALL SYSTEM AT 1-800-482-8898 AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION TO ENSURE THAT ANY EXISTING UTILITIES CAN BE LOCATED.
15. CONTRACTOR TO CONSTRUCT ALL ACCESS RAMPS AND PAVING TO UNIVERSITY OF ARKANSAS, CITY OF FAYETTEVILLE AND/OR ADA STANDARDS. VERIFY.
16. TREES TO REMAIN ARE TO BE PROTECTED FROM DAMAGE DURING CONSTRUCTION.
17. CONTRACTOR SHALL COORDINATE WITH SOURCE GAS FOR GAS LINE AND METER INSTALLATION.
18. ELECTRICAL INFORMATION SHOWN FOR COORDINATION PURPOSES ONLY. SEE MEP SHEETS FOR DETAILS AND SPECIFICATIONS.
19. SLEEVES SHOWN ARE FOR THE LANDSCAPE IRRIGATION SYSTEM UNLESS OTHERWISE NOTED. ALL SLEEVES SHALL BE SCHEDULE 40 PVC, BURIED 18 INCHES BELOW FINISH GRADE, AND EXTENDING 12 INCHES BEHIND CURBS AND OTHER PAVING EDGES. INSTALL PULL CHORDS AND TIE OFF WITH METAL POST AT EACH END.TRENCHES MUST BE BACKFILLED AND COMPACTED TO SUBGRADE STANDARDS.
20. CONTRACTOR SHALL NOTIFY ENGINEER AND REVIEW ALL REVISIONS TO THE PLANS PRIOR TO EXECUTING A CHANGE.

GENERAL DEMOLITION NOTES:

1. ALL ITEMS SHOWN IN BOLD PRINT ARE TO BE REMOVED.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE THOROUGH KNOWLEDGE OF THE EXISTING SITE FEATURES, UTILITIES AND STORM DRAINAGE. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES.
3. ITEMS NOT SHOWN TO BE REMOVED ON THIS PLAN BUT INSIDE THE PROJECT LIMITS AND IN THE WAY OF PROPOSED IMPROVEMENTS SHALL BE REMOVED. LIMITS CONSIST OF ALL AREAS OF DISTURBANCE FOR CONSTRUCTION OF THE PROJECT.
4. UTILITIES TO BE REMOVED SHALL BE COORDINATED WITH THE UTILITY AUTHORITY HAVING JURISDICTION.
5. NOTICE OF DISTURBANCE TO UTILITY SERVICE SHALL BE COORDINATED WITH OWNER/ARCHITECT 72 HOURS IN ADVANCE.
6. ALL EXISTING SITE FURNISHINGS, LIGHTING AND SIGNAGE ARE TO BE REUSED PER THE PLANS OR SALVAGED. COORDINATE DELIVERY AND STORAGE OF ALL ITEMS NOT REUSED AT OWNERS STORAGE FACILITY.
7. CONTRACTOR SHALL BE AWARE THAT POTENTIAL ABANDONED UTILITIES, DRAINAGE, FOOTINGS AND OTHER SUB-SURFACE FEATURES MAY EXIST BUT MAY NOT BE SHOWN ON THIS PLAN. WHERE POSSIBLE, SUCH KNOWN FEATURES HAVE BEEN SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATING AND COORDINATING THE DEMOLITION, REMOVAL, AND RELOCATION OF SUCH FEATURES AS REQUIRED.
8. PROTECT EXISTING UTILITY SERVICES UNTIL NEW SERVICES ARE IN PLACE AND APPROVED.
9. CONTRACTOR SHALL TAKE CARE IN MINIMIZING THE DISTURBANCE OF THE EXISTING TREE TRUNKS AND ROOT SYSTEMS. ALL DEMOLITION ADJACENT TO EXISTING TREES SHALL BE COMPLETED USING HAND TOOLS, NO LARGE EQUIPMENT OR ANY EQUIPMENT WITH TRACKS SHALL BE ALLOWED TO WORK UNDER THE DRIP LINE OF ANY EXISTING TREES TO REMAIN.THERE SHALL BE NO STORAGE OF MATERIAL OR PARKING WITHIN THE DRIPLINE OF THE EXISTING TREES TO REMAIN.
10. DURING DEMOLITION THE CONTRACTOR SHALL EXERCISE CAUTION NOT TO DAMAGE THE EXISTING FEATURES THAT ARE TO REMAIN INSIDE AND OUTSIDE OF THE PROJECT CONSTRUCTION AREA. DAMAGE RESULTING FROM CONTRACTORS WORK SHALL BE REPAIRED & RESTORED TO THE COMPLETE SATISFACTION OF THE OWNER AT THE EXPENSE OF THE CONTRACTOR.
11. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATIONS OF ALL AREAS TO BE DEMOLISHED AS A PART OF THIS CONTRACT. CONDITIONS THAT MAY VARY FROM THESE PLANS & SPECIFICATIONS MUST BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER. CLEARLY MARK ALL ADDITIONAL ITEMS FOR DEMOLITION FOR ENGINEER'S APPROVAL PRIOR TO BEGINNING DEMOLITION WORK.
12. CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF ALL DESIGNATED TREES ALONG WITH STUMPS, SHRUBS AND GROUNDCOVER PRIOR TO THE START OF NEW CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR CAPPING & ABANDONING ALL IRRIGATION LINES IN THE DEMOLITION AREA.
13. CONTRACTOR SHALL PROVIDE TEMPORARY IRRIGATION AND CONTROLS TO PROVIDE AUTOMATIC IRRIGATION TO EXISTING LANDSCAPE WHERE IRRIGATION CURRENTLY EXISTS.
14. TREE PROTECTION MEASURES TO BE IN PLACE AND TREE RELOCATION TO BE FINISHED PRIOR TO DEMOLITION.
15. SAWCUTS: WHEN NEW PAVEMENT IS TO BE PLACED AGAINST EXISTING PAVEMENT, THE EXISTING SHALL BE SAWCUT TO AN EVEN BASE COURSE. PROTECT SAWCUT EDGE UNTIL INSTALLATION OF NEW PAVEMENT. ADDITIONAL SAWCUTS MAY BE NEEDED TO PROVIDE A CLEAN EDGE AT THE TIME OF INSTALLATION OF NEW PAVEMENT.

DCI
DEVELOPMENT CONSULTANTS INCORPORATED
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SUITE 220
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501-221-7880

SCALE: 3/16" = 1'-0"

DATE: 04-28-2022

REVISIONS

DEVELOPMENT CONSULTANTS INCORPORATED

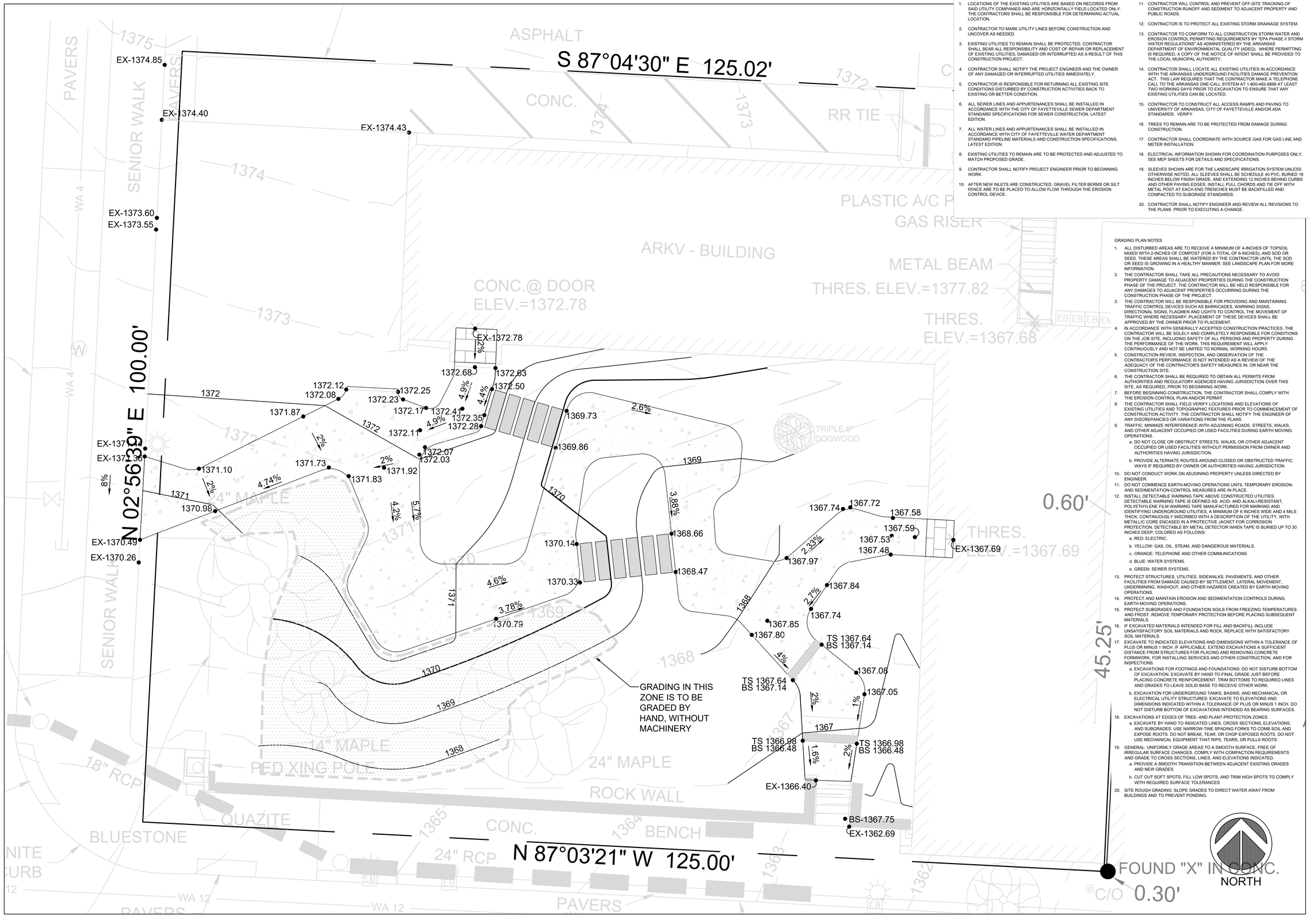
PROJECT TITLE: UNIVERSITY OF ARKANSAS - ARKV
FAYETTEVILLE, ARKANSAS

SHEET TITLE: DEMOLITION AND TREE PROTECTION PLAN

PROJECT NO: 21-149

SHEET NO: C1.01

G:\2021\XXX-XXXXXXXXXX-XXX XXXXXX.DWG



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15. CONTRACTOR TO CONSTRUCT ALL ACCESS RAMPS AND PAVING TO UNIVERSITY OF ARKANSAS, CITY OF FAYETTEVILLE AND/OR ADA STANDARDS. VERIFY.
16. TREES TO REMAIN ARE TO BE PROTECTED FROM DAMAGE DURING CONSTRUCTION.
17. CONTRACTOR SHALL COORDINATE WITH SOURCE GAS FOR GAS LINE AND METER INSTALLATION.
18. ELECTRICAL INFORMATION SHOWN FOR COORDINATION PURPOSES ONLY. SEE MEP SHEETS FOR DETAILS AND SPECIFICATIONS.
19. SLEEVES SHOWN ARE FOR THE LANDSCAPE IRRIGATION SYSTEM UNLESS OTHERWISE NOTED. ALL SLEEVES SHALL BE SCHEDULE 40 PVC, BURIED 18 INCHES BELOW FINISH GRADE, AND EXTENDING 12 INCHES BEHIND CURBS AND OTHER PAVING EDGES. INSTALL PULL CHORDS AND TIE OFF WITH METAL POST AT EACH END.TRENCHES MUST BE BACKFILLED AND COMPACTED TO SUBGRADE STANDARDS.
20. CONTRACTOR SHALL NOTIFY ENGINEER AND REVIEW ALL REVISIONS TO THE PLANS PRIOR TO EXECUTING A CHANGE.

GRADING PLAN NOTES

1. ALL DISTURBED AREAS ARE TO RECEIVE A MINIMUM OF 4-INCHES OF TOPSOIL MIXED WITH 2-INCHES OF COMPOST (FOR A TOTAL OF 6-INCHES), AND SOD OR SEED. THESE AREAS SHALL BE WATERED BY THE CONTRACTOR UNTIL THE SOD OR SEED IS GROWING IN A HEALTHY MANNER. SEE LANDSCAPE PLAN FOR MORE INFORMATION.
2. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASE OF THE PROJECT. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DAMAGES TO ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASE OF THE PROJECT
3. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE OWNER PRIOR TO PLACEMENT.
4. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
5. CONSTRUCTION REVIEW, INSPECTION, AND OBSERVATION OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED AS A REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, OR NEAR THE CONSTRUCTION SITE.
6. THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL PERMITS FROM AUTHORITIES AND REGULATORY AGENCIES HAVING JURISDICTION OVER THIS SITE, AS REQUIRED, PRIOR TO BEGINNING WORK.
7. BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL COMPLY WITH THE EROSION CONTROL PLAN AND/OR PERMIT.
8. THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM THE PLANS.
9. TRAFFIC: MINIMIZE INTERFERENCE WITH ADJOINING ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES DURING EARTH MOVING OPERATIONS.
   a. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER ADJACENT OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM OWNER AND AUTHORITIES HAVING JURISDICTION.
   b. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY OWNER OR AUTHORITIES HAVING JURISDICTION.
10. DO NOT CONDUCT WORK ON ADJOINING PROPERTY UNLESS DIRECTED BY ENGINEER.
11. DO NOT COMMENCE EARTH-MOVING OPERATIONS UNTIL TEMPORARY EROSION- AND SEDIMENTATION-CONTROL MEASURES ARE IN PLACE.
12. INSTALL DETECTABLE WARNING TAPE ABOVE CONSTRUCTED UTILITIES. DETECTABLE WARNING TAPE IS DEFINED AS: ACID- AND ALKALI-RESISTANT, POLYETHYLENE FILM WARNING TAPE MANUFACTURED FOR MARKING AND IDENTIFYING UNDERGROUND UTILITIES, A MINIMUM OF 6 INCHES WIDE AND 4 MILS THICK, CONTINUOUSLY INSCRIBED WITH A DESCRIPTION OF THE UTILITY, WITH METALLIC CORE ENCASED IN A PROTECTIVE JACKET FOR CORROSION PROTECTION, DETECTABLE BY METAL DETECTOR WHEN TAPE IS BURIED UP TO 30 INCHES DEEP; COLORED AS FOLLOWS:
   a. RED: ELECTRIC.
   b. YELLOW: GAS, OIL, STEAM, AND DANGEROUS MATERIALS.
   c. ORANGE: TELEPHONE AND OTHER COMMUNICATIONS
   d. BLUE: WATER SYSTEMS.
   e. GREEN: SEWER SYSTEMS.
13. PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT, AND OTHER HAZARDS CREATED BY EARTH MOVING OPERATIONS.
14. PROTECT AND MAINTAIN EROSION AND SEDIMENTATION CONTROLS DURING EARTH MOVING OPERATIONS.
15. PROTECT SUBGRADES AND FOUNDATION SOILS FROM FREEZING TEMPERATURES AND FROST. REMOVE TEMPORARY PROTECTION BEFORE PLACING SUBSEQUENT MATERIALS.
16. IF EXCAVATED MATERIALS INTENDED FOR FILL AND BACKFILL INCLUDE UNSATISFACTORY SOIL MATERIALS AND ROCK, REPLACE WITH SATISFACTORY SOIL MATERIALS.
17. EXCAVATE TO INDICATED ELEVATIONS AND DIMENSIONS WITHIN A TOLERANCE OF PLUS OR MINUS 1 INCH. IF APPLICABLE, EXTEND EXCAVATIONS A SUFFICIENT DISTANCE FROM STRUCTURES FOR PLACING AND REMOVING CONCRETE FORMWORK, FOR INSTALLING SERVICES AND OTHER CONSTRUCTION, AND FOR INSPECTIONS.
   a. EXCAVATIONS FOR FOOTINGS AND FOUNDATIONS: DO NOT DISTURB BOTTOM OF EXCAVATION. EXCAVATE BY HAND TO FINAL GRADE JUST BEFORE PLACING CONCRETE REINFORCEMENT. TRIM BOTTOMS TO REQUIRED LINES AND GRADES TO LEAVE SOLID BASE TO RECEIVE OTHER WORK.
   b. EXCAVATION FOR UNDERGROUND TANKS, BASINS, AND MECHANICAL OR ELECTRICAL UTILITY STRUCTURES: EXCAVATE TO ELEVATIONS AND DIMENSIONS INDICATED WITHIN A TOLERANCE OF PLUS OR MINUS 1 INCH. DO NOT DISTURB BOTTOM OF EXCAVATIONS INTENDED AS BEARING SURFACES.
18. EXCAVATIONS AT EDGES OF TREE- AND PLANT-PROTECTION ZONES:
   a. EXCAVATE BY HAND TO INDICATED LINES, CROSS SECTIONS, ELEVATIONS, AND SUBGRADES. USE NARROW-TINE SPADING FORKS TO COMB SOIL AND EXPOSE ROOTS. DO NOT BREAK, TEAR, OR CHOP EXPOSED ROOTS. DO NOT USE MECHANICAL EQUIPMENT THAT RIPS, TEARS, OR PULLS ROOTS.
19. GENERAL: UNIFORMLY GRADE AREAS TO A SMOOTH SURFACE, FREE OF IRREGULAR SURFACE CHANGES. COMPLY WITH COMPACTION REQUIREMENTS AND GRADE TO CROSS SECTIONS, LINES, AND ELEVATIONS INDICATED.
   a. PROVIDE A SMOOTH TRANSITION BETWEEN ADJACENT EXISTING GRADES AND NEW GRADES.
   b. CUT OUT SOFT SPOTS, FILL LOW SPOTS, AND TRIM HIGH SPOTS TO COMPLY WITH REQUIRED SURFACE TOLERANCES.
20. SITE ROUGH GRADING: SLOPE GRADES TO DIRECT WATER AWAY FROM BUILDINGS AND TO PREVENT PONDING.

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SCALE: 3/16" = 1'-0"

DATE: 04-28-2022

REVISIONS

DEVELOPMENT CONSULTANTS INCORPORATED

PROJECT TITLE: UNIVERSITY OF ARKANSAS - ARKV
FAYETTEVILLE, ARKANSAS

SHEET TITLE: GRADING AND DRAINAGE PLAN

PROJECT NO: 21-149

SHEET NO: C2.01

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LAYOUT NOTES:

1. THE CONTRACTOR SHALL LAYOUT AND VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR DIRECTION AND RESOLUTION OF DISCREPANCIES PRIOR TO PROCEEDING.
2. VERIFY LOCATIONS OF ALL SITE IMPROVEMENTS INSTALLED UNDER OTHER SECTIONS. IF ANY PART OF THIS PLAN CANNOT BE FOLLOWED DUE TO SITE CONDITIONS, CONTACT THE ENGINEER FOR INSTRUCTION PRIOR TO COMMENCING WORK.
3. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
4. WHERE DIMENSIONS ARE CALLED AS "EQUAL", ALL REFERENCED ITEMS SHALL BE SPACED EQUALLY, MEASURED TO THEIR CENTER LINES.
5. ALL DIMENSIONS ARE PERPENDICULAR TO FACE OF BUILDING, WALL OR OTHER FIXED SITE IMPROVEMENT AND DIMENSIONS AT CURB ARE FROM BACK OF CURB UNLESS OTHERWISE NOTED.
6. INSTALL ALL INTERSECTING ELEMENTS AT 90 DEGREES TO EACH OTHER UNLESS OTHERWISE NOTED.
7. COORDINATE PAINTING OF FIRE LANES WITH OWNER AND LOCAL FIRE DEPARTMENT.

1. LOCATIONS OF THE EXISTING UTILITIES ARE BASED ON RECORDS FROM SAID UTILITY COMPANIES AND ARE HORIZONTALLY FIELD LOCATED ONLY. THE CONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING ACTUAL LOCATION.
2. CONTRACTOR TO MARK UTILITY LINES BEFORE CONSTRUCTION AND UNCOVER AS NEEDED.
3. EXISTING UTILITIES TO REMAIN SHALL BE PROTECTED. CONTRACTOR SHALL BEAR ALL RESPONSIBILITY AND COST OF REPAIR OR REPLACEMENT OF EXISTING UTILITIES, DAMAGED OR INTERRUPTED AS A RESULT OF THIS CONSTRUCTION PROJECT.
4. CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AND THE OWNER OF ANY DAMAGED OR INTERRUPTED UTILITIES IMMEDIATELY.
5. CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL EXISTING SITE CONDITIONS DISTURBED BY CONSTRUCTION ACTIVITIES BACK TO EXISTING OR BETTER CONDITION.
6. ALL SEWER LINES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF FAYETTEVILLE SEWER DEPARTMENT STANDARD SPECIFICATIONS FOR SEWER CONSTRUCTION, LATEST EDITION.
7. ALL WATER LINES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH CITY OF FAYETTEVILLE WATER DEPARTMENT STANDARD PIPELINE MATERIALS AND CONSTRUCTION SPECIFICATIONS, LATEST EDITION.
8. EXISTING UTILITIES TO REMAIN ARE TO BE PROTECTED AND ADJUSTED TO MATCH PROPOSED GRADE.
9. CONTRACTOR SHALL NOTIFY PROJECT ENGINEER PRIOR TO BEGINNING WORK.
10. AFTER NEW INLETS ARE CONSTRUCTED, GRAVEL FILTER BERMS OR SILT FENCE ARE TO BE PLACED TO ALLOW FLOW THROUGH THE EROSION CONTROL DEVICE.
11. CONTRACTOR WILL CONTROL AND PREVENT OFF-SITE TRACKING OF CONSTRUCTION RUNOFF AND SEDIMENT TO ADJACENT PROPERTY AND PUBLIC ROADS.
12. CONTRACTOR IS TO PROTECT ALL EXISTING STORM DRAINAGE SYSTEM.
13. CONTRACTOR TO CONFORM TO ALL CONSTRUCTION STORM WATER AND EROSION CONTROL PERMITTING REQUIREMENTS BY "EPA PHASE II STORM WATER REGULATIONS" AS ADMINISTERED BY THE ARKANSAS DEPARTMENT OF ENVIRONMENTAL QUALITY (ADEQ). WHERE PERMITTING IS REQUIRED, A COPY OF THE NOTICE OF INTENT SHALL BE PROVIDED TO THE LOCAL MUNICIPAL AUTHORITY.
14. CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES IN ACCORDANCE WITH THE ARKANSAS UNDERGROUND FACILITIES DAMAGE PREVENTION ACT. THIS LAW REQUIRES THAT THE CONTRACTOR MAKE A TELEPHONE CALL TO THE ARKANSAS ONE-CALL SYSTEM AT 1-800-482-8998 AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION TO ENSURE THAT ANY EXISTING UTILITIES CAN BE LOCATED.
15. CONTRACTOR TO CONSTRUCT ALL ACCESS RAMPS AND PAVING TO UNIVERSITY OF ARKANSAS, CITY OF FAYETTEVILLE AND/OR ADA STANDARDS. VERIFY.
16. TREES TO REMAIN ARE TO BE PROTECTED FROM DAMAGE DURING CONSTRUCTION.
17. CONTRACTOR SHALL COORDINATE WITH SOURCE GAS FOR GAS LINE AND METER INSTALLATION.
18. ELECTRICAL INFORMATION SHOWN FOR COORDINATION PURPOSES ONLY. SEE MEP SHEETS FOR DETAILS AND SPECIFICATIONS.
19. SLEEVES SHOWN ARE FOR THE LANDSCAPE IRRIGATION SYSTEM UNLESS OTHERWISE NOTED. ALL SLEEVES SHALL BE SCHEDULE 40 PVC, BURIED 18 INCHES BELOW FINISH GRADE, AND EXTENDING 12 INCHES BEHIND CURBS AND OTHER PAVING EDGES. INSTALL PULL CHORDS AND TIE OFF WITH METAL POST AT EACH END.TRENCHES MUST BE BACKFILLED AND COMPACTED TO SUBGRADE STANDARDS.
20. CONTRACTOR SHALL NOTIFY ENGINEER AND REVIEW ALL REVISIONS TO THE PLANS PRIOR TO EXECUTING A CHANGE.

KEY	DESCRIPTION	COLOR	FINISH	REMARKS
PAVING				
P.1	CONCRETE PAVING	SOLOMON 920 "SMOKE"	GROUND TO MATCH FINISH AT NATIONAL PAN HELLENIC COUNCIL GATHERING SPACE	FLATWORK TO BE CONSTRUCTED OF BUTTERFIELD INTEGRAL COLOR CONCRETE WITH 50% LIMESTONE AND 50% RIVER GRAVEL AGGREGATE. FINISH IS TO BE GROUND ON ALL VISIBLE SURFACES TO MATCH NATIONAL PANHELLENIC COUNCIL GATHERING SPACE. CONTRACTOR IS TO PROVIDE A 5'X5' MOCK-UP FOR THIS FINISH.
P.2	STONE PAVING AT BUILDING THRESHOLDS	MILLHOUSE GRAY GRANITE	THERMAL FINISH TOP SAWN SIDES	GRANITE SLABS SALVAGED FROM CAMPUS PEDESTRIAN WAYS. PLAZA SET ON 1" THICK GROUT BED ON 6" THICK CONCRETE SLAB. SUBMIT SAMPLES FOR REVIEW. REFERENCE DETAILS. INSTALLER TO HAVE AT LEAST 5 YEARS EXPERIENCE IN LAYING STONE IN A SIMILAR FASHION.
STEPS				
S.1	STONE STEPS IN PAVING	BLUESTONE	TOP OF STEP TO BE THERMAL FINISH. VERTICAL SURFACES TO BE THERMAL FINISH	STEPS TO BE CONSTRUCTED OF EQUINUNK BLUESTONE (ALL BLUE, NOT FULL COLOR RANGE). TREADS TO BE PLACED ON COMPACTED CLASS 7 PER DETAILS
S.2	STONE STEPS IN PLANTING	BLUESTONE	TOP OF STEP TO BE THERMAL FINISH. VERTICAL SURFACES TO BE THERMAL FINISH	60"L x18"W x6" D STEPS TO BE CONSTRUCTED OF EQUINUNK BLUESTONE (ALL BLUE, NOT FULL COLOR RANGE). TREADS TO BE PLACED ON COMPACTED CLASS 7 PER DETAILS

LAYOUT & MATERIALS LEGEND

- CENTER LINE / BASELINE
- ALIGN
- EJ / CJ — EXPANSION JOINT / CONTROL OR CONSTRUCTION JOINTS
- R5.00 — RADIUS
- XX.1 — MATERIAL REFERENCE

ACCESSIBILITY SLOPE REQUIREMENTS :

1. ALL SIDEWALKS SHALL BE CONSTRUCTED HAVING NO GREATER THAN A 2.0% CROSS SLOPE
2. ALL ACCESSIBLE ROUTE SIDEWALKS SHALL BE CONSTRUCTED HAVING NO GREATER THAN A 5.0% LONGITUDINAL SLOPE.
3. ALL ACCESSIBLE RAMPS SHALL BE CONSTRUCTED HAVING NO GREATER THAN A 2.0% CROSS SLOPE AND 1:12 LONGITUDINAL SLOPE.
4. ALL ACCESSIBLE RAMP LANDINGS SHALL HAVE SLOPES NO GREATER THAN 2.0% IN ANY DIRECTION.
5. ALL ACCESSIBLE PARKING SPACES & LOADING ZONES SHALL HAVE SLOPES NO GREATER THAN 2.0% IN ANY DIRECTION.
6. ALL ACCESSIBLE ROUTE SIDEWALKS, RAMPS, LANDINGS, AND PARKING SPACES THAT ARE NOT COMPLIANT WITH ADA GUIDELINES MUST BE REPLACED AT THE CONTRACTORS EXPENSE.

EXPANSION JOINTS:

PROVIDE EXPANSION JOINTS IN ALL CASES WHERE CONCRETE FLATWORK MEETS OTHER STRUCTURES SUCH AS WALLS, CURBS, STEPS & BUILDINGS OR WHERE CONCRETE ABUTS EXISTING CONCRETE PAVING, UTILITY VAULTS, JUNCTION BOXES, ETC. EXPANSION JOINTS REQUIRED AT THESE STRUCTURES MAY NOT BE SHOWN ON THESE DRAWINGS BUT ARE A CONSTRUCTION REQUIREMENT. SEE DETAILS FOR LOCATIONS THAT REQUIRE INSTALLATION OF DOWELS.

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501-221-7880

SCALE: 3/16" = 1'-0"

DATE: 04-28-2022

REVISIONS

DEVELOPMENT CONSULTANTS INCORPORATED

PROJECT TITLE: UNIVERSITY OF ARKANSAS - ARKV
FAYETTEVILLE, ARKANSAS

SHEET TITLE: LAYOUT AND MATERIALS PLAN

PROJECT NO: 21-149

SHEET NO: C3.01

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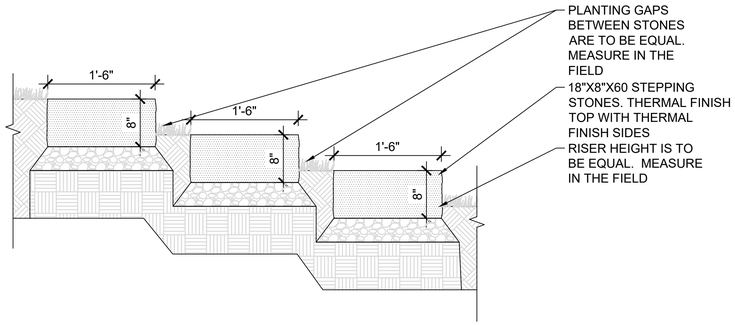
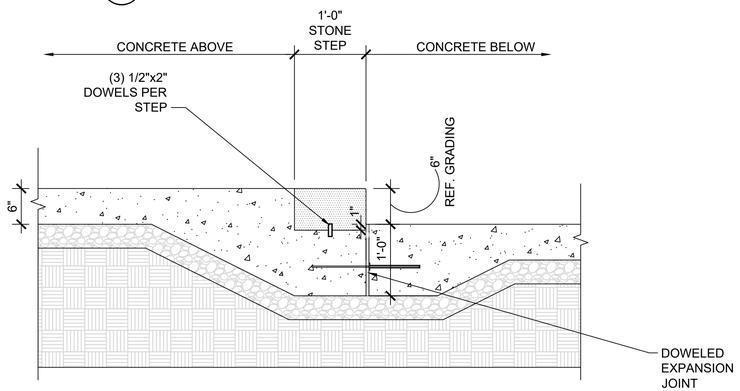


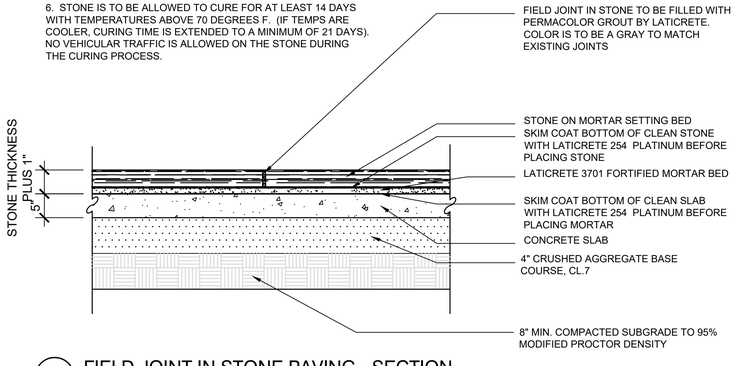
11 STEPPING STONES ON SLOPE - SECTION
NTS



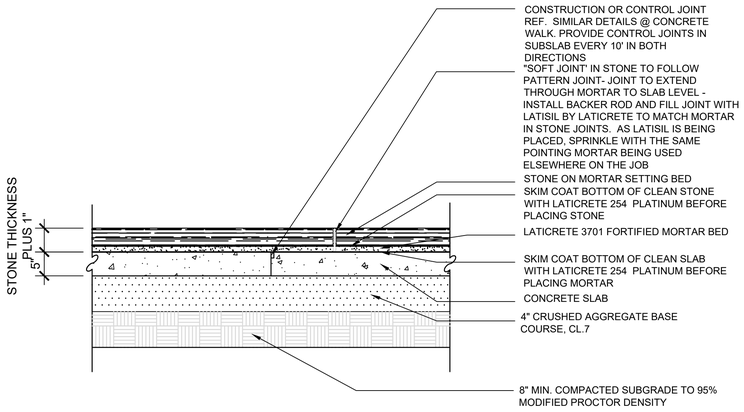
10 SINGLE STEPS IN CONCRETE PAVING - SECTION
NTS

NOTE:
MASON INSTALLING STONE FLATWORK IS
TO HAVE A MINIMUM 5 YEARS EXPERIENCE IN INSTALLING STONE IN SIMILAR APPLICATIONS.

1. STONE IS TO BE CLEANED PRIOR TO BEING INSTALLED ON SLAB.
2. SLAB IS TO BE CLEANED PRIOR TO INSTALLATION.
3. SLAB AND STONE ARE TO BE KEPT DAMP DURING INSTALLATION.
4. STONES ARE TO BE BED SECURELY, ANY STONES WHICH ARE FOUND TO BE ROCKING WILL BE REMOVED AND RE-INSTALLED.
5. JOINTS ARE TO BE FILLED AS THE STONES ARE INSTALLED IN ORDER TO CREATE A BOND BETWEEN THE MORTAR IN THE JOINTS AND THE BEDDING MORTAR.
6. STONE IS TO BE ALLOWED TO CURE FOR AT LEAST 14 DAYS WITH TEMPERATURES ABOVE 70 DEGREES F. (IF TEMPS ARE COOLER, CURING TIME IS EXTENDED TO A MINIMUM OF 21 DAYS). NO VEHICULAR TRAFFIC IS ALLOWED ON THE STONE DURING THE CURING PROCESS.



9 FIELD JOINT IN STONE PAVING - SECTION
NTS



8 SOFT JOINT IN STONE PAVING - SECTION
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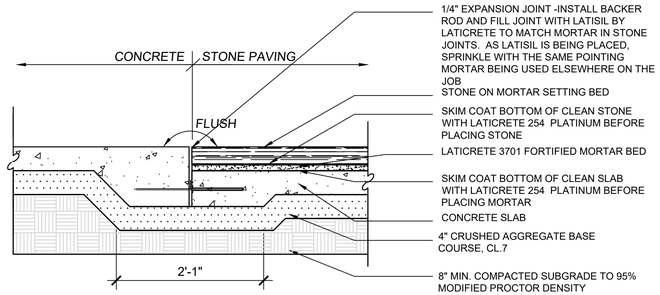

7 STONE PAVING AT CONCRETE
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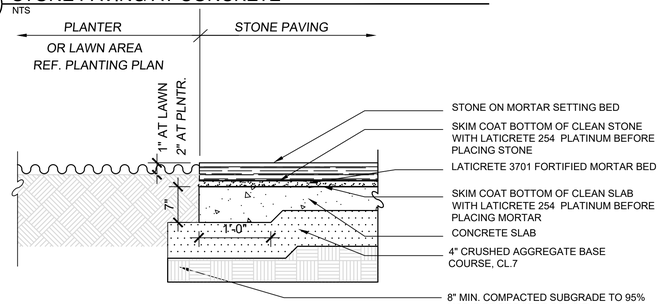

6 STONE PAVING AT PLANTING
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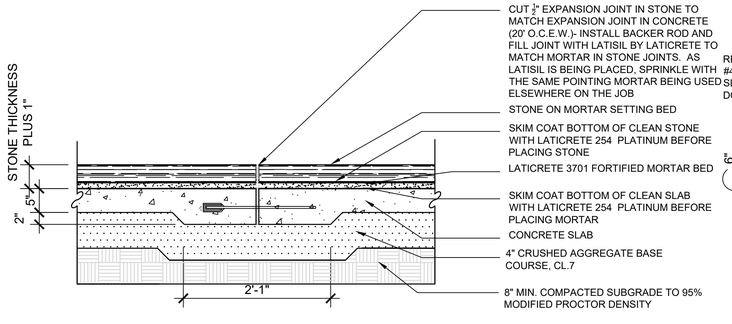

5 STONE PAVING AT EXPANSION JOINT
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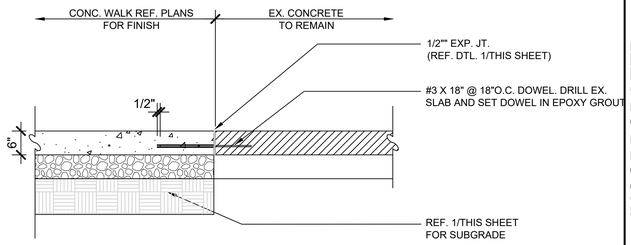
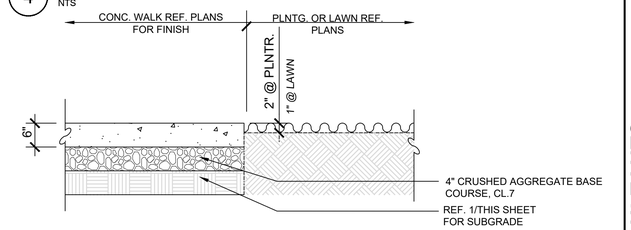


4 CONCRETE AT EXISTING CONCRETE - TYPICAL
NTS



3 CONCRETE AT PLANTING - TYPICAL
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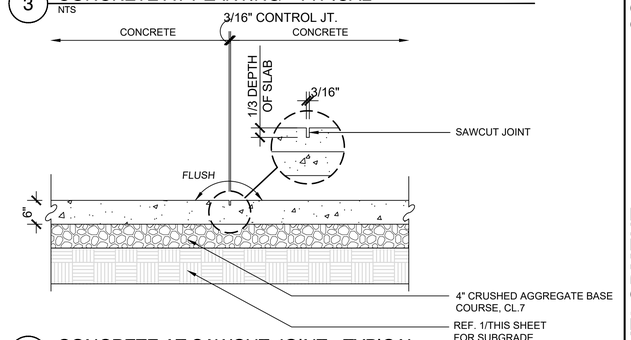

2 CONCRETE AT SAWCUT JOINT - TYPICAL
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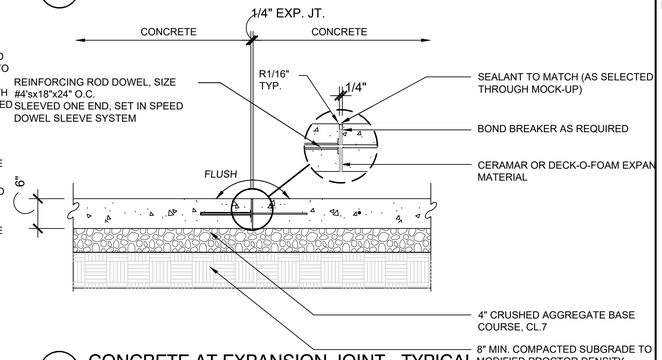

1 CONCRETE AT EXPANSION JOINT - TYPICAL
NTS

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SCALE: 1" = 10'

DATE: 04-28-2022

REVISIONS

DEVELOPMENT CONSULTANTS INCORPORATED

PROJECT TITLE: UNIVERSITY OF ARKANSAS - ARKV
FAYETTEVILLE, ARKANSAS

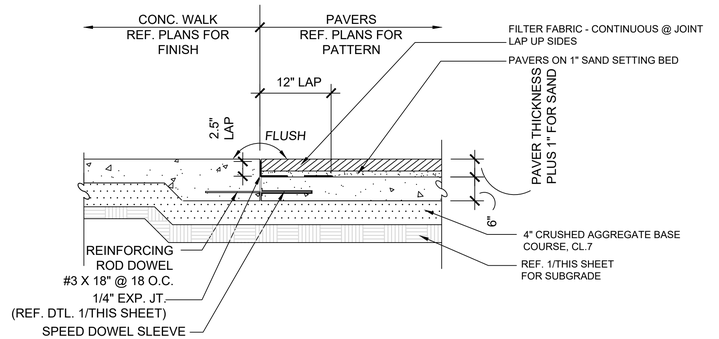
SHEET TITLE: PAVING DETAILS

PROJECT NO: 21-149

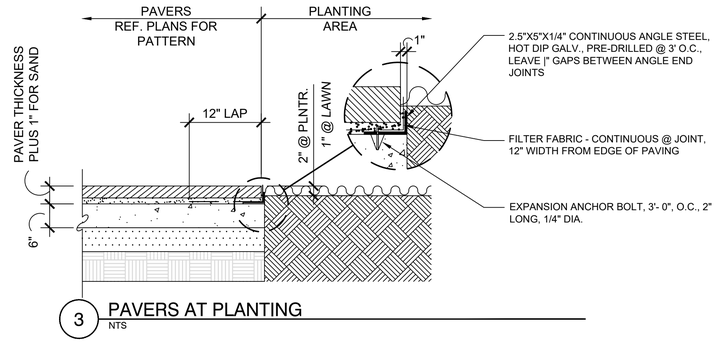
SHEET NO: C3.02

G:\2021\XXX-XXXXXXXXXX-XXX XXXXXX.DWG

NOTE: PAVER DETAILS ARE SHOWN FOR USE FOR REPAIR OF DRIVEWAY APRON ONLY. NO NEW PAVERS ARE SHOWN AS A PART OF THIS PROJECT



4 PAVERS AT CONCRETE
NTS



3 PAVERS AT PLANTING
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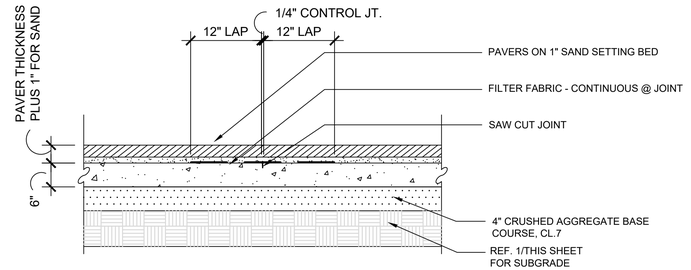
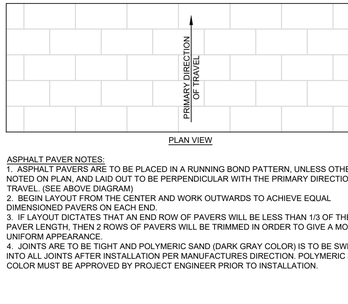


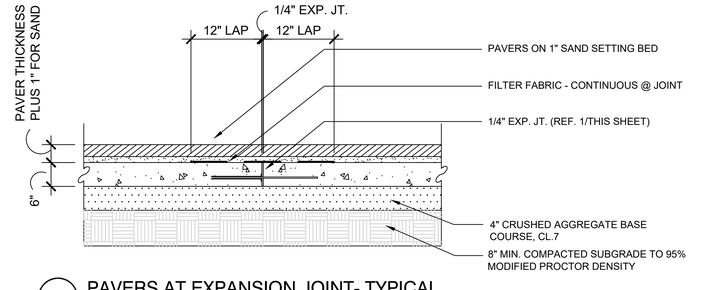
2 PAVERS AT CONTROL JOINT- TYPICAL
NTS



PLAN VIEW

ASPHALT PAVER NOTES:
1. ASPHALT PAVERS ARE TO BE PLACED IN A RUNNING BOND PATTERN, UNLESS OTHERWISE NOTED ON PLAN, AND LAID OUT TO BE PERPENDICULAR WITH THE PRIMARY DIRECTION OF TRAVEL. (SEE ABOVE DIAGRAM)
2. BEGIN LAYOUT FROM THE CENTER AND WORK OUTWARDS TO ACHIEVE EQUAL DIMENSIONED PAVERS ON EACH END.
3. IF LAYOUT DICTATES THAT AN END ROW OF PAVERS WILL BE LESS THAN 1/3 OF THE PAVER LENGTH, THEN 2 ROWS OF PAVERS WILL BE TRIMMED IN ORDER TO GIVE A MORE UNIFORM APPEARANCE.
4. JOINTS ARE TO BE TIGHT AND POLYMERIC SAND (DARK GRAY COLOR) IS TO BE SWEPT INTO ALL JOINTS AFTER INSTALLATION PER MANUFACTURES DIRECTION. POLYMERIC SAND COLOR MUST BE APPROVED BY PROJECT ENGINEER PRIOR TO INSTALLATION.

5 ASPHALT PAVERS - LAYOUT
NTS



1 PAVERS AT EXPANSION JOINT- TYPICAL
NTS

DCI
DEVELOPMENT CONSULTANTS INCORPORATED
2200 N. RODNEY PARHAM ROAD
SUITE 220
LITTLE ROCK, AR 72212
501-221-7880

SCALE: 1" = 10'

DATE: 04-28-2022

REVISIONS

DEVELOPMENT CONSULTANTS INCORPORATED

PROJECT TITLE: UNIVERSITY OF ARKANSAS - ARKV
FAYETTEVILLE, ARKANSAS

SHEET TITLE: PAVING DETAILS

PROJECT NO: 21-149

SHEET NO: C3.03

G:\2021\XXX-XX\XXXXXXXX-XXX XXXXXX.DWG

1. LOCATIONS OF THE EXISTING UTILITIES ARE BASED ON RECORDS FROM SAID UTILITY COMPANIES AND ARE HORIZONTALLY FIELD LOCATED ONLY. THE CONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING ACTUAL LOCATION.
2. CONTRACTOR TO MARK UTILITY LINES BEFORE CONSTRUCTION AND UNCOVER AS NEEDED.
3. EXISTING UTILITIES TO REMAIN SHALL BE PROTECTED. CONTRACTOR SHALL BEAR ALL RESPONSIBILITY AND COST OF REPAIR OR REPLACEMENT OF EXISTING UTILITIES, DAMAGED OR INTERRUPTED AS A RESULT OF THIS CONSTRUCTION PROJECT.
4. CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AND THE OWNER OF ANY DAMAGED OR INTERRUPTED UTILITIES IMMEDIATELY.
5. CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL EXISTING SITE CONDITIONS DISTURBED BY CONSTRUCTION ACTIVITIES BACK TO EXISTING OR BETTER CONDITION.
6. ALL SEWER LINES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF FAYETTEVILLE SEWER DEPARTMENT STANDARD SPECIFICATIONS FOR SEWER CONSTRUCTION, LATEST EDITION.
7. ALL WATER LINES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH CITY OF FAYETTEVILLE WATER DEPARTMENT STANDARD PIPELINE MATERIALS AND CONSTRUCTION SPECIFICATIONS, LATEST EDITION.
8. EXISTING UTILITIES TO REMAIN ARE TO BE PROTECTED AND ADJUSTED TO MATCH PROPOSED GRADE.
9. CONTRACTOR SHALL NOTIFY PROJECT ENGINEER PRIOR TO BEGINNING WORK.
10. AFTER NEW INLETS ARE CONSTRUCTED, GRAVEL FILTER BERMS OR SILT FENCE ARE TO BE PLACED TO ALLOW FLOW THROUGH THE EROSION CONTROL DEVICE.
11. CONTRACTOR WILL CONTROL AND PREVENT OFF-SITE TRACKING OF CONSTRUCTION RUNOFF AND SEDIMENT TO ADJACENT PROPERTY AND PUBLIC ROADS.
12. CONTRACTOR IS TO PROTECT ALL EXISTING STORM DRAINAGE SYSTEM.
13. CONTRACTOR TO CONFORM TO ALL CONSTRUCTION STORM WATER AND EROSION CONTROL PERMITTING REQUIREMENTS BY "EPA PHASE II STORM WATER REGULATIONS" AS ADMINISTERED BY THE ARKANSAS DEPARTMENT OF ENVIRONMENTAL QUALITY (ADEQ). WHERE PERMITTING IS REQUIRED, A COPY OF THE NOTICE OF INTENT SHALL BE PROVIDED TO THE LOCAL MUNICIPAL AUTHORITY.
14. CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES IN ACCORDANCE WITH THE ARKANSAS UNDERGROUND FACILITIES DAMAGE PREVENTION ACT. THIS LAW REQUIRES THAT THE CONTRACTOR MAKE A TELEPHONE CALL TO THE ARKANSAS ONE-CALL SYSTEM AT 1-800-482-8998 AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION TO ENSURE THAT ANY EXISTING UTILITIES CAN BE LOCATED.
15. CONTRACTOR TO CONSTRUCT ALL ACCESS RAMPS AND PAVING TO UNIVERSITY OF ARKANSAS, CITY OF FAYETTEVILLE AND/OR ADA STANDARDS. VERIFY.
16. TREES TO REMAIN ARE TO BE PROTECTED FROM DAMAGE DURING CONSTRUCTION.
17. CONTRACTOR SHALL COORDINATE WITH SOURCE GAS FOR GAS LINE AND METER INSTALLATION.
18. ELECTRICAL INFORMATION SHOWN FOR COORDINATION PURPOSES ONLY. SEE MEP SHEETS FOR DETAILS AND SPECIFICATIONS.
19. SLEEVES SHOWN ARE FOR THE LANDSCAPE IRRIGATION SYSTEM UNLESS OTHERWISE NOTED. ALL SLEEVES SHALL BE SCHEDULE 40 PVC, BURIED 18 INCHES BELOW FINISH GRADE, AND EXTENDING 12 INCHES BEHIND CURBS AND OTHER PAVING EDGES. INSTALL PULL CHORDS AND TIE OFF WITH METAL POST AT EACH END. TRENCHES MUST BE BACKFILLED AND COMPACTED TO SUBGRADE STANDARDS.
20. CONTRACTOR SHALL NOTIFY ENGINEER AND REVIEW ALL REVISIONS TO THE PLANS PRIOR TO EXECUTING A CHANGE.

EROSION CONTROL NOTES

1. ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE A MINIMUM OF 4-INCHES OF TOPSOIL AND 2-INCHES OF COMPOST (FOR A TOTAL OF 6-INCHES) AND SOD OR SEED (AS INDICATED). THESE AREAS SHALL BE WATERED BY THE CONTRACTOR UNTIL THE SOD OR SEED IS GROWING IN A HEALTHY MANNER. SEE LANDSCAPE PLANS FOR MORE REQUIREMENTS.
2. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASE OF THE PROJECT. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DAMAGES TO ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASE OF THE PROJECT.
3. THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. THESE DEVICES AND THEIR PLACEMENT SHALL BE APPROVED BY THE OWNER PRIOR TO PLACEMENT.
4. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
5. THE DUTY OF THE OWNER (OR OWNER'S REPRESENTATIVE) TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, OR NEAR THE CONSTRUCTION SITE.
6. BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL INSTALL A TEMPORARY ROCK ENTRANCE PAD AT ALL POINTS OF VEHICLE EXIT FROM THE SITE. SAID ROCK ENTRANCE PADS SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE PROJECT.
7. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE ESTABLISHED AROUND THE ENTIRE SITE PERIMETER AND IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES AND THE PROJECT DETAILS.
8. EROSION CONTROL MEASURES SHALL BE IMMEDIATELY ESTABLISHED UPON COMPLETION OF CLEARING AND GRUBBING.
9. THE INTENDED SEQUENCE OF MAJOR CONSTRUCTION ACTIVITIES IS AS FOLLOWS:
   a. INSTALL SILT FENCE AROUND THE PERIMETER OF THE SITE, AND THE ROCK CONSTRUCTION ENTRANCE(S).
   b. INSTALL SILT FENCE AND INLET PROTECTION AROUND, AND WITHIN, ALL STRUCTURES.
   c. CLEAR AND GRUB.
   d. SURFACE FEATURE REMOVALS.
   e. ROUGH GRADING OF THE SITE.
   f. STABILIZE DENUDED AREAS AND STOCKPILES.
   g. FINE GRADING OF THE SITE
   h. INSTALL TOPSOIL, COMPOST AND SEED.
   i. REMOVE ACCUMULATED SEDIMENT FROM STRUCTURES.
   j. WHEN ALL CONSTRUCTION ACTIVITIES ARE COMPLETE AND THE SITE IS STABILIZED, REMOVE SILT FENCE AND RESEED ANY AREAS DISTURBED BY THE REMOVAL WITHIN 30-DAYS OF FINAL STABILIZATION.
10. THE LOCATION OF THE AREAS NOT TO BE DISTURBED MUST BE IDENTIFIED WITH FLAGS, STAKES, SIGNS, SILT FENCE, ETC. BEFORE CONSTRUCTION BEGINS.
11. ALL STORM DRAINS AND INLETS MUST BE PROTECTED UNTIL ALL SOURCES OF POTENTIAL DISCHARGE ARE STABILIZED.
12. SOLID WASTE MUST BE DISPOSED OF PROPERLY AND COMPLY WITH THE GOVERNING AGENCY'S DISPOSAL REQUIREMENTS.
13. EXTERNAL WASHING OF CONSTRUCTION VEHICLES MUST BE LIMITED TO A DEFINED AREA OF THE SITE. THE AREA MUST BE IN A CONTAINED LOCATION WITH A LINER. WASHOUT TO BE REMOVE AND PROPERLY DISPOSED OF FOLLOWING ALL APPLICABLE REGULATIONS. UNDER NO CIRCUMSTANCES SHALL EQUIPMENT BE ALLOWED TO WASH OFF FRESH CONCRETE IN THE STREET OR IN ANY AREA WHERE THE WASHOUT MATERIAL WILL ENTER A WETLAND OR DRAINAGEWAY. CONCRETE WASHOUT WATER SHALL NOT BE DISCHARGED INTO WATER/STORM SYSTEMS.
14. NO ENGINE DEGREASING IS ALLOWED ON SITE.
15. SILT FENCE REQUIRED MAINTENANCE SHALL BE AS FOLLOWS: *WHEN SEDIMENT REACHES 1/3 THE HEIGHT OF THE SILT FENCE FABRIC. THE SEDIMENT MUST BE REMOVED WITHIN 24-HOURS. *REPAIR OR REPLACE DYSFUNCTIONAL SILT FENCE WITHIN 24-HOURS.
16. THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL PERMITS FROM AUTHORITIES AND REGULATORY AGENCIES HAVING JURISDICTION OVER THIS SITE, AS REQUIRED, PRIOR TO BEGINNING WORK.
17. AFTER CONSTRUCTION BEGINS, SOIL SURFACE STABILIZATION SHALL BE APPLIED WITHIN 7-DAYS TO ALL DISTURBED AREAS THAT MAY NOT BE AT FINAL GRADE, BUT WILL REMAIN UNDISTURBED FOR PERIODS LONGER THAN AN ADDITIONAL 21 CALENDAR DAYS.
18. WITHIN 7-DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE, PERMANENT OR TEMPORARY SOIL SURFACE STABILIZATION SHALL BE APPLIED TO DISTURBED AREAS AND SOIL STOCKPILES.
19. ALL DISTURBED GROUND LEFT INACTIVE FOR 7 DAYS OR MORE MUST BE STABILIZED BY SEEDING, SODDING OR MULCHING. TYPE OF SLOPE DAYS TO STABILIZE STEEPER THAN 3:1 7 DAYS 10:1 TO 3:1 7 DAYS FLATTER THAN 10:1 7 DAYS
20. WHEN STABILIZATION MEASURES ARE STOPPED DUE TO SNOW COVER OR ARID CONDITIONS, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS POSSIBLE. SOIL STABILIZATION MEASURES SHALL INCLUDE, BUT ARE NOT LIMITED TO SURFACE ROUGHENING, TEMPORARY OR PERMANENT VEGETATION, MULCHING, SODDING, LANDSCAPING AND EROSION CONTROL BLANKETS.
21. STABILIZATION MEASURES TO BE USED SHALL BE APPROPRIATE FOR THE TIME OF YEAR, SITE CONDITIONS AND ESTIMATED DURATION OF USE.
22. EXISTING TURF OUTSIDE OF THE CONSTRUCTION LIMITS SHALL NOT BE DISTURBED. ANY TURF SHALL BE RE-ESTABLISHED.
23. ALL STREETS AND PARKING LOTS ADJACENT TO THE SITE SHALL BE CLEANED AND/OR SWEPT AT THE END OF EACH WORKING DAY.
24. WHEN STABILIZATION MEASURES ARE STOPPED DUE TO SNOW COVER, STABILIZATION MEASURES SHALL BE RE-INITIATED AS SOON AS POSSIBLE. STABILIZATION MEASURES SHALL INCLUDE, BUT ARE NOT LIMITED TO: TEMPORARY OR PERMANENT VEGETATION, MULCHING, SODDING, LANDSCAPING AND EROSION CONTROL BLANKETS.
25. TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING THE CONSTRUCTION PHASE AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION.
26. EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN PLACE UNTIL PERMANENT REVEGETATION IS ESTABLISHED.
27. CONTRACTOR TO LOCATE A CONCRETE WASHOUT AREA ON THE PROJECT SITE PRIOR TO BEGINNING WORK.

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PROJECT TITLE: UNIVERSITY OF ARKANSAS - ARKV
FAYETTEVILLE, ARKANSAS

SHEET TITLE: EROSION CONTROL PLAN

PROJECT NO: 21-149

SHEET NO: C4.01

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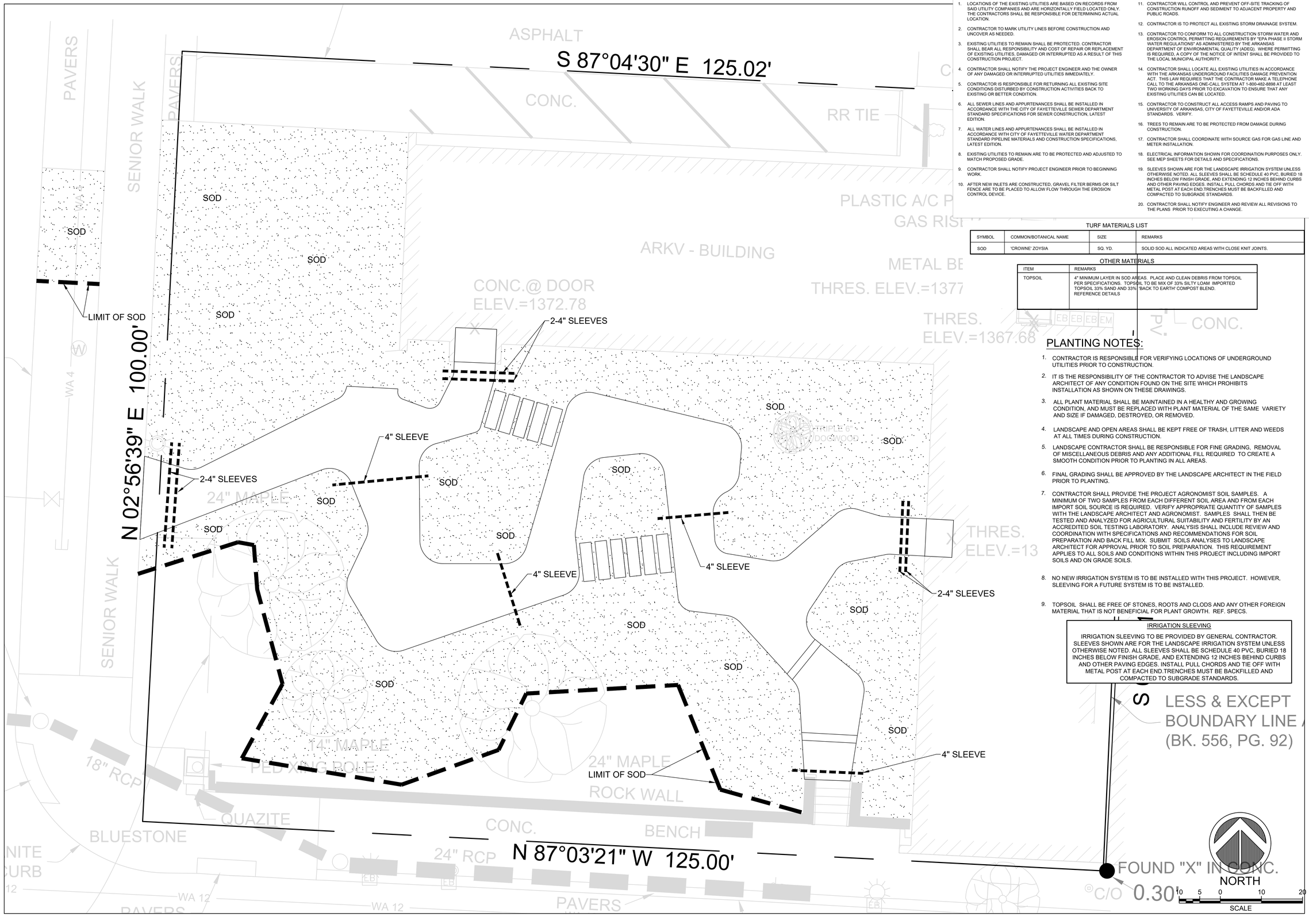

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TURF MATERIALS LIST

SYMBOL	COMMON/BOTANICAL NAME	SIZE	REMARKS
SOD	'CROWNE' ZOYSIA	SQ. YD.	SOLID SOD ALL INDICATED AREAS WITH CLOSE KNIT JOINTS.

OTHER MATERIALS

ITEM	REMARKS
TOPSOIL	4" MINIMUM LAYER IN SOD AREAS. PLACE AND CLEAN DEBRIS FROM TOPSOIL PER SPECIFICATIONS. TOPSOIL TO BE MIX OF 33% SILTY LOAM IMPORTED TOPSOIL 33% SAND AND 33% 'BACK TO EARTH' COMPOST BLEND. REFERENCE DETAILS

PLANTING NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATIONS OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE LANDSCAPE ARCHITECT OF ANY CONDITION FOUND ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE DRAWINGS.
3. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION, AND MUST BE REPLACED WITH PLANT MATERIAL OF THE SAME VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED.
4. LANDSCAPE AND OPEN AREAS SHALL BE KEPT FREE OF TRASH, LITTER AND WEEDS AT ALL TIMES DURING CONSTRUCTION.
5. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING, REMOVAL OF MISCELLANEOUS DEBRIS AND ANY ADDITIONAL FILL REQUIRED TO CREATE A SMOOTH CONDITION PRIOR TO PLANTING IN ALL AREAS.
6. FINAL GRADING SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO PLANTING.
7. CONTRACTOR SHALL PROVIDE THE PROJECT AGRONOMIST SOIL SAMPLES. A MINIMUM OF TWO SAMPLES FROM EACH DIFFERENT SOIL AREA AND FROM EACH IMPORT SOIL SOURCE IS REQUIRED. VERIFY APPROPRIATE QUANTITY OF SAMPLES WITH THE LANDSCAPE ARCHITECT AND AGRONOMIST. SAMPLES SHALL THEN BE TESTED AND ANALYZED FOR AGRICULTURAL SUITABILITY AND FERTILITY BY AN ACCREDITED SOIL TESTING LABORATORY. ANALYSIS SHALL INCLUDE REVIEW AND COORDINATION WITH SPECIFICATIONS AND RECOMMENDATIONS FOR SOIL PREPARATION AND BACK FILL MIX. SUBMIT SOILS ANALYSES TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO SOIL PREPARATION. THIS REQUIREMENT APPLIES TO ALL SOILS AND CONDITIONS WITHIN THIS PROJECT INCLUDING IMPORT SOILS AND ON GRADE SOILS.
8. NO NEW IRRIGATION SYSTEM IS TO BE INSTALLED WITH THIS PROJECT. HOWEVER, SLEEVING FOR A FUTURE SYSTEM IS TO BE INSTALLED.
9. TOPSOIL SHALL BE FREE OF STONES, ROOTS AND CLODS AND ANY OTHER FOREIGN MATERIAL THAT IS NOT BENEFICIAL FOR PLANT GROWTH. REF. SPECS.

IRRIGATION SLEEVING

IRRIGATION SLEEVING TO BE PROVIDED BY GENERAL CONTRACTOR. SLEEVES SHOWN ARE FOR THE LANDSCAPE IRRIGATION SYSTEM UNLESS OTHERWISE NOTED. ALL SLEEVES SHALL BE SCHEDULE 40 PVC, BURIED 18 INCHES BELOW FINISH GRADE, AND EXTENDING 12 INCHES BEHIND CURBS AND OTHER PAVING EDGES. INSTALL PULL CHORDS AND TIE OFF WITH METAL POST AT EACH END.TRENCHES MUST BE BACKFILLED AND COMPACTED TO SUBGRADE STANDARDS.

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PROJECT TITLE: UNIVERSITY OF ARKANSAS - ARKV
FAYETTEVILLE, ARKANSAS

SHEET TITLE: PLANTING PLAN

PROJECT NO: 21-149

SHEET NO: L1.01

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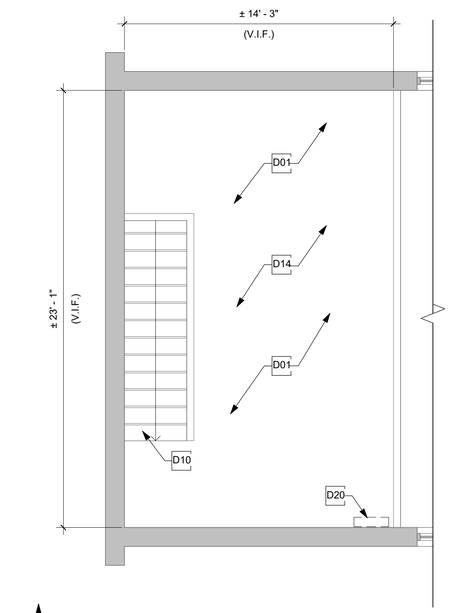
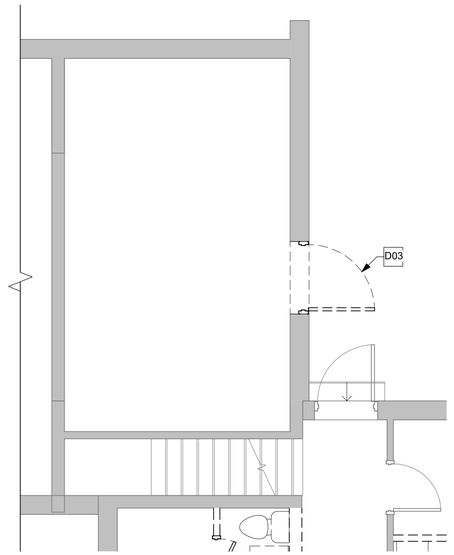


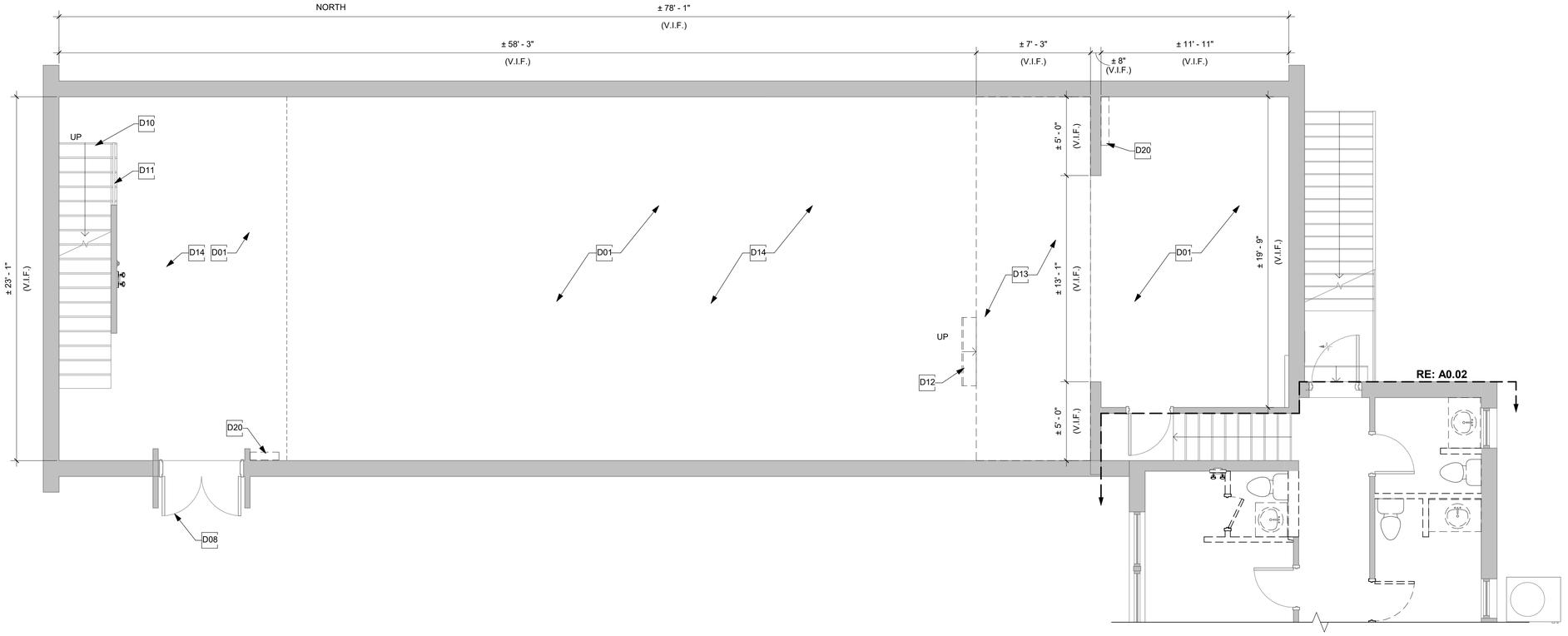
NORTH

2A DEMOLITION MEZZANINE FLOOR PLAN
1/4" = 1'-0"



NORTH

2C DEMOLITION MECH. BASEMENT FLOOR PLAN
1/4" = 1'-0"



NORTH

5D DEMOLITION AUDITORIUM FLOOR PLAN
1/4" = 1'-0"

GENERAL DEMOLITION NOTES:

1. GENERAL CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE EXISTING SITE AND STRUCTURE AND VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK.

2. OBTAIN ALL REQUIRED PERMITS FROM THE PROPER AUTHORITIES.

3. NOTIFY AFFECTED UTILITY COMPANIES BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS. CONTRACTOR SHALL IDENTIFY THE LOCATION OF EXISTING UTILITY LINES INCLUDING BUT NOT LIMITED TO ELECTRICAL UTILITIES, DOMESTIC WATER, SANITARY SEWER, NATURAL GAS, CABLE TV, TELEPHONE AND INTERNET. CONTRACTOR SHALL PROTECT EXISTING UTILITY LINES.

4. CONFORM TO APPLICABLE CODES FOR DEMOLITION WORK, SAFETY OF STRUCTURE, DUST CONTROL, AND ITEMS STORED WITHIN THE STRUCTURE.

5. CONFORM TO APPLICABLE REGULATORY PROCEDURES IF HAZARDOUS OR CONTAMINATED MATERIALS ARE DISCOVERED.

6. DRAWINGS SHOWING EXISTING CONSTRUCTION AND UTILITIES ARE BASED ON CASUAL FIELD OBSERVATION ONLY. VERIFY THAT CONSTRUCTION AND UTILITY ARRANGEMENTS ARE AS SHOWN. REPORT DISCREPANCIES TO ARCHITECT BEFORE DISTURBING EXISTING INSTALLATION. BEGINNING OF ALTERATIONS WORK CONSTITUTES ACCEPTANCE OF EXISTING CONDITIONS.

7. MANY DIMENSIONS ARE DEPENDENT UPON EXISTING BUILDING CONDITIONS. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS AND DIMENSIONS PRIOR TO PRICING AND DURING CONSTRUCTION, AS NECESSARY, TO ASSURE CONSTRUCTION ADHERENCE TO DRAWINGS. THE SUBMISSION OF A PRICE CONSTITUTES ACCEPTANCE OF EXISTING CONDITIONS. BY ENTERING INTO A CONSTRUCTION CONTRACT FOR THIS WORK, THE GENERAL CONTRACTOR HAS INDICATED HIS / HER FAMILIARITY WITH THE FIELD CONDITIONS. ANY DIMENSION REVISIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR REVIEW / APPROVAL.

8. SCHEDULE WORK TO AVOID EXCESSIVE EXPOSURE OF BUILDING ELEMENTS TO THE WEATHER.

9. ERECT AND MAINTAIN WEATHERPROOF ENCLOSURES FOR ALL EXTERIOR OPENINGS

10. EXECUTE WORK BY METHODS WHICH WILL AVOID DAMAGE TO OTHER WORK. REPAIR OR REPLACE ITEMS DAMAGED DURING CONSTRUCTION. PROVIDE PROPER SURFACES TO RECEIVE PATCHING AND FINISHING.

11. PROTECT EXISTING MATERIALS AND SURFACES, FIXTURES, EQUIPMENT AND OTHER ITEMS WHICH ARE NOT TO BE REMOVED.

12. THE CONTRACTOR SHALL REMOVE, CUT, AND PATCH WORK IN A MANNER TO MINIMIZE DAMAGE, AND PROVIDE A MEANS OF RESTORING PRODUCTS AND FINISHES TO THEIR ORIGINAL CONDITION.

13. WHERE NEW WORK ABUTS OR ALIGNS WITH EXISTING, PERFORM A SMOOTH AND EVEN TRANSITION. PATCH WORK AND USE MATERIALS THAT MATCH EXISTING ADJACENT WORK IN TEXTURE AND APPEARANCE.

14. DEMO ALL EXISTING INTERIOR PARTITIONS, DOORS, AND WINDOWS SHOWN TO BE REMOVED ON THE PLANS, ELEVATIONS, AND SECTIONS BY DASHED LINES. COORDINATE EXTENTS OF DEMOLITION WITH NEW PLANS.

15. WHERE DEMOLITION OF PIPING AND CONDUIT FROM EXISTING WALLS TO REMAIN OCCURS, PATCH WALL COMPLETE WITH SIMILAR MATERIAL AND PREPARE FOR WALL FINISH.

16. FILL ALL FLOOR PENETRATIONS; APPLY FLOOR PREPARATION AFTER FILLING OF PENETRATION BEFORE APPLICATION OF FLOOR FINISH - TYPICAL FOR ALL FLOOR ELECTRICAL BOXES, CONDUIT PENETRATIONS, PIPING PENETRATIONS, ETC.

17. REMOVE TEMPORARY WORK THAT IS NOT TO REMAIN.

18. DO NOT BURN OR BURY MATERIALS ON SITE.

19. SCHEDULE ANY POWER OUTAGES WITH THE OWNER AT LEAST TWO WEEKS IN ADVANCE.

DEMOLITION KEYNOTES

D01	REMOVE EXISTING FLOOR FINISH MATERIAL, BASE, AND ASSOCIATED ADHESIVE. NOTE: THE EXISTING TILES AND/OR ADHESIVE COULD CONTAIN ASBESTOS MATERIALS.
D02	REMOVE EXISTING CEILING AND ASSOCIATED SUPPORT/ GRID SYSTEM.
D03	REMOVE EXISTING DOOR AND FRAME.
D04	REMOVE EXISTING DOOR, FRAME, AND HARDWARE. PREP EXISTING OPENING AS REQUIRED FOR NEW CMU BLOCK INFILL.
D05	REMOVE EXISTING MILLWORK / CASEWORK THIS AREA.
D06	REMOVE EXISTING PLUMBING FIXTURES AND CAP UTILITIES AT FLOOR SLAB, RE:PLUMBING.
D07	REMOVE EXISTING KITCHEN EQUIPMENT. CAP UTILITIES AT FLOOR SLAB, RE:MECHANICAL.
D08	EXISTING DOOR AND FRAME TO REMAIN. PROTECT AT ALL TIMES DURING CONSTRUCTION. PREP AS REQUIRED FOR REFINISHING.
D10	REMOVE EXISTING STAIR TREAD AND RISER FINISH. STAIR STRUCTURE TO REMAIN. PROTECT AT ALL TIMES DURING CONSTRUCTION.
D11	EXISTING STAIR RAILING TO REMAIN. PROTECT AT ALL TIMES DURING CONSTRUCTION.
D12	REMOVE EXISTING STAIR AND SUPPORTING SUB-STRUCTURE.
D13	REMOVE EXISTING RAISED FLOOR AND SUPPORTING SUB-STRUCTURE THIS AREA.
D14	EXISTING CEILING TO REMAIN. PROTECT AT ALL TIMES DURING CONSTRUCTION.
D15	REMOVE EXISTING PLUMBING FIXTURES AND TEMPORARILY CAP UTILITIES. PREP FOR NEW PLUMBING FIXTURES, RE:PLUMBING.
D16	REMOVE EXISTING WOOD PARTITION.
D17	REMOVE EXISTING WINDOW SHADES, TYP. PROTECT EXISTING WINDOW SYSTEM TO REMAIN.
D18	EXISTING STOREFRONT SYSTEM TO REMAIN.
D19	REMOVE EXISTING CMU PARTITION.
D20	REMOVE EXISTING MECHANICAL EQUIPMENT, RE:MECHANICAL.

*** PATCH / REPAIR ALL EXISTING WALLS / GYP. BOARD FINISH TO REMAIN WHERE DAMAGE MAY HAVE OCCURED IN DEMOLITION OF EXISTING CONDITIONS

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310 ARKANSAS AVE RENOVATION
UNIVERSITY OF ARKANSAS

310 Arkansas Avenue
Fayetteville, AR 72701

REVISIONS:

PROJECT NO.
21085
DATE:
June 14, 2022

DEMOLITION
AUDITORIUM FLOOR
PLANS

A0.01

SCM ARCHITECTS P.L.L.C.

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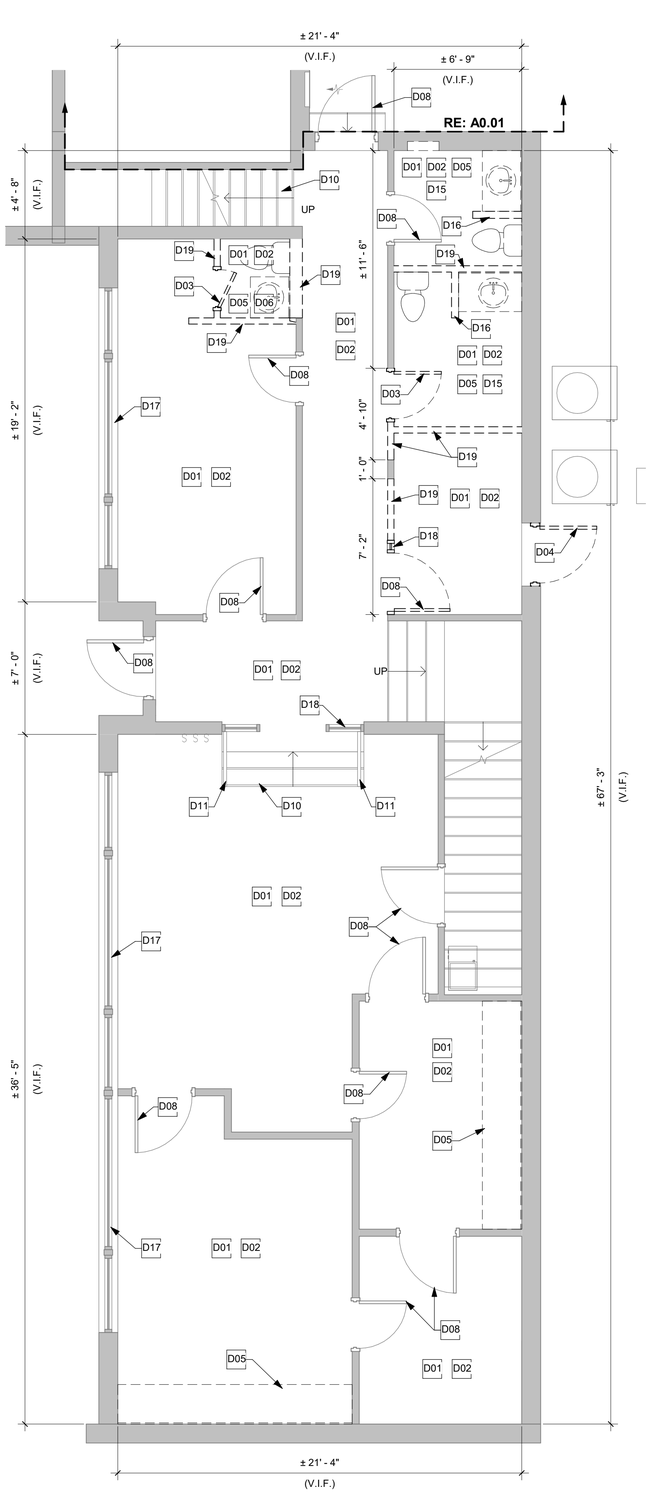
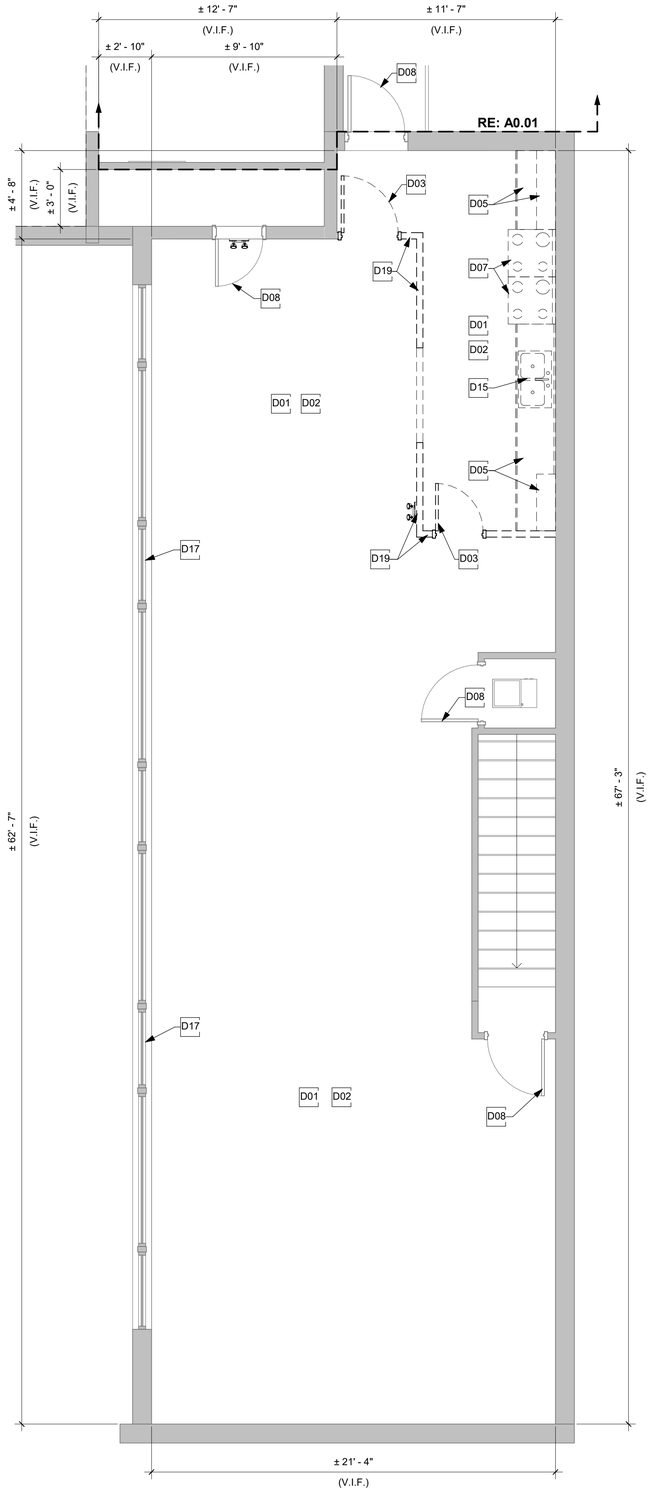


5C DEMOLITION CLASSROOM WING FIRST FLOOR PLAN
1/4" = 1'-0"

NORTH



5E DEMOLITION CLASSROOM WING SECOND FLOOR PLAN
1/4" = 1'-0"

NORTH

DEMOLITION KEYNOTES

D01	REMOVE EXISTING FLOOR FINISH MATERIAL, BASE, AND ASSOCIATED ADHESIVE. NOTE: THE EXISTING TILES AND/OR ADHESIVE COULD CONTAIN ASBESTOS MATERIALS.
D02	REMOVE EXISTING CEILING AND ASSOCIATED SUPPORT/ GRID SYSTEM.
D03	REMOVE EXISTING DOOR AND FRAME.
D04	REMOVE EXISTING DOOR, FRAME, AND HARDWARE. PREP EXISTING OPENING AS REQUIRED FOR NEW CMU BLOCK INFILL.
D05	REMOVE EXISTING MILLWORK / CASEWORK THIS AREA.
D06	REMOVE EXISTING PLUMBING FIXTURES AND CAP UTILITIES AT FLOOR SLAB, RE:PLUMBING.
D07	REMOVE EXISTING KITCHEN EQUIPMENT. CAP UTILITIES AT FLOOR SLAB, RE:MECHANICAL.
D08	EXISTING DOOR AND FRAME TO REMAIN. PROTECT AT ALL TIMES DURING CONSTRUCTION. PREP AS REQUIRED FOR REFINISHING.
D10	REMOVE EXISTING STAIR TREAD AND RISER FINISH. STAIR STRUCTURE TO REMAIN. PROTECT AT ALL TIMES DURING CONSTRUCTION.
D11	EXISTING STAIR RAILING TO REMAIN. PROTECT AT ALL TIMES DURING CONSTRUCTION.
D12	REMOVE EXISTING STAIR AND SUPPORTING SUB-STRUCTURE.
D13	REMOVE EXISTING RAISED FLOOR AND SUPPORTING SUB-STRUCTURE THIS AREA.
D14	EXISTING CEILING TO REMAIN. PROTECT AT ALL TIMES DURING CONSTRUCTION.
D15	REMOVE EXISTING PLUMBING FIXTURES AND TEMPORARILY CAP UTILITIES. PREP FOR NEW PLUMBING FIXTURES, RE:PLUMBING.
D16	REMOVE EXISTING WOOD PARTITION.
D17	REMOVE EXISTING WINDOW SHADES, TYP. PROTECT EXISTING WINDOW SYSTEM TO REMAIN.
D18	EXISTING STOREFRONT SYSTEM TO REMAIN.
D19	REMOVE EXISTING CMU PARTITION.
D20	REMOVE EXISTING MECHANICAL EQUIPMENT, RE:MECHANICAL.

*** PATCH / REPAIR ALL EXISTING WALLS / GYP. BOARD FINISH TO REMAIN WHERE DAMAGE MAY HAVE OCCURED IN DEMOLITION OF EXISTING CONDITIONS

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DEMOLITION
CLASSROOM WING
FLOOR PLAN

A0.02

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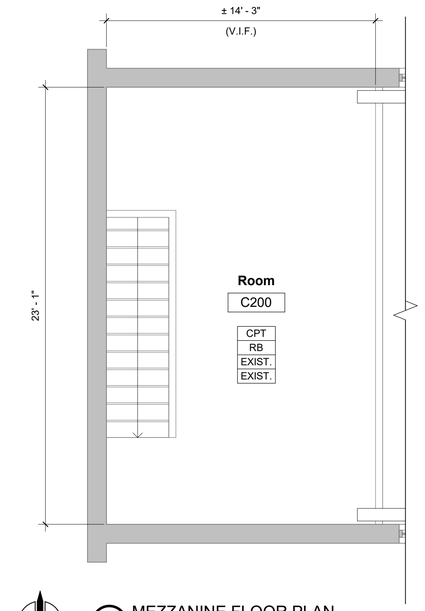
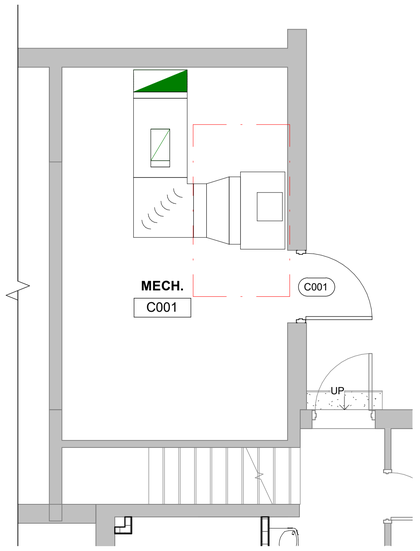


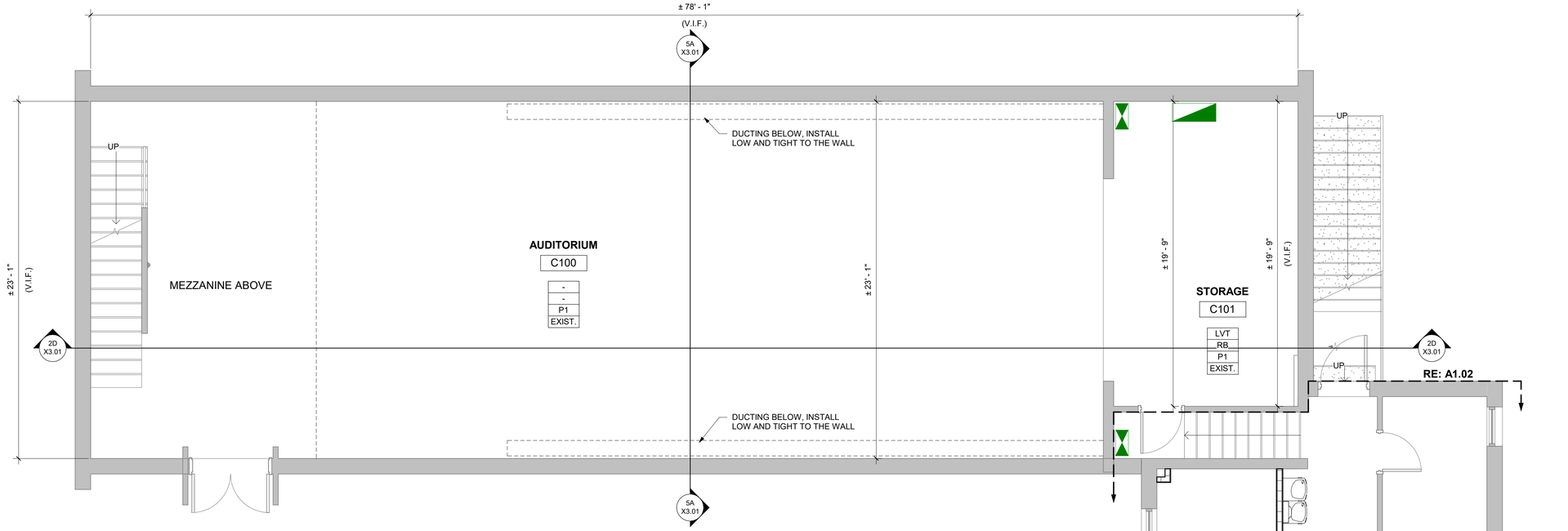
NORTH

2A MEZZANINE FLOOR PLAN
1/4" = 1'-0"



NORTH

2C MECH. BASEMENT FLOOR PLAN
1/4" = 1'-0"



NORTH

5D AUDITORIUM FLOOR PLAN
1/4" = 1'-0"

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AUDITORIUM FLOOR PLANS

A1.01

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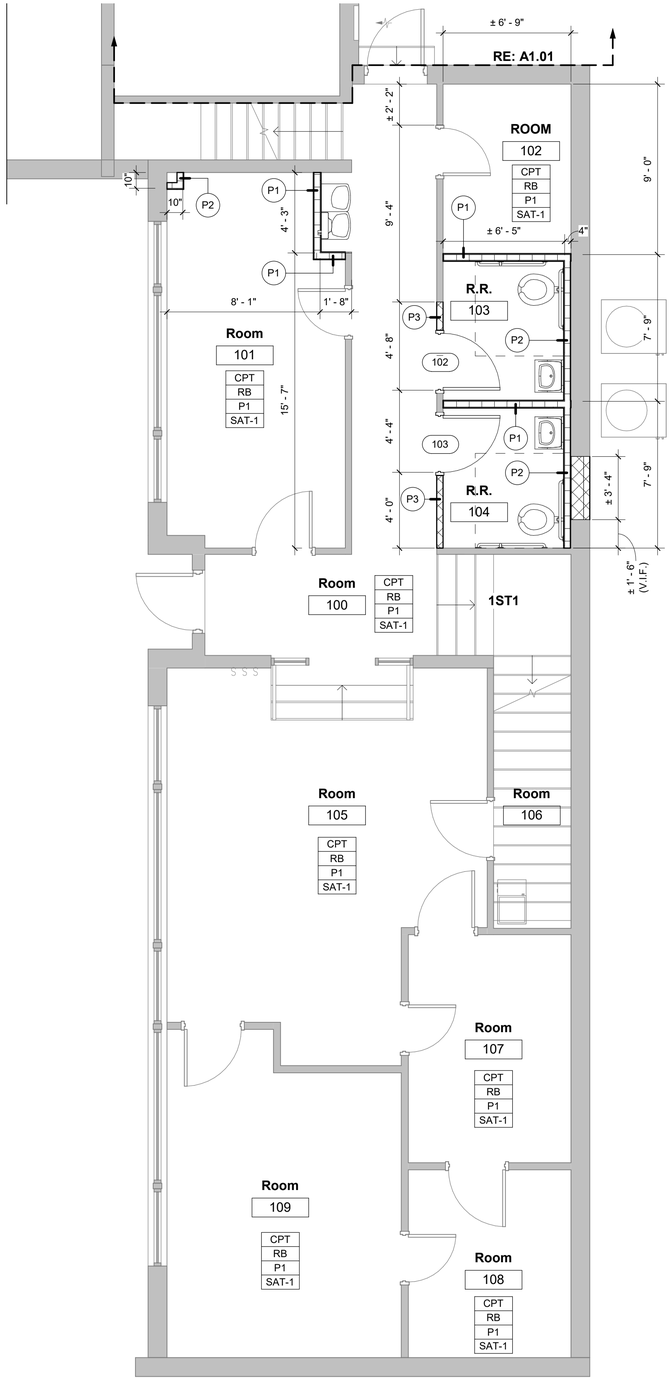
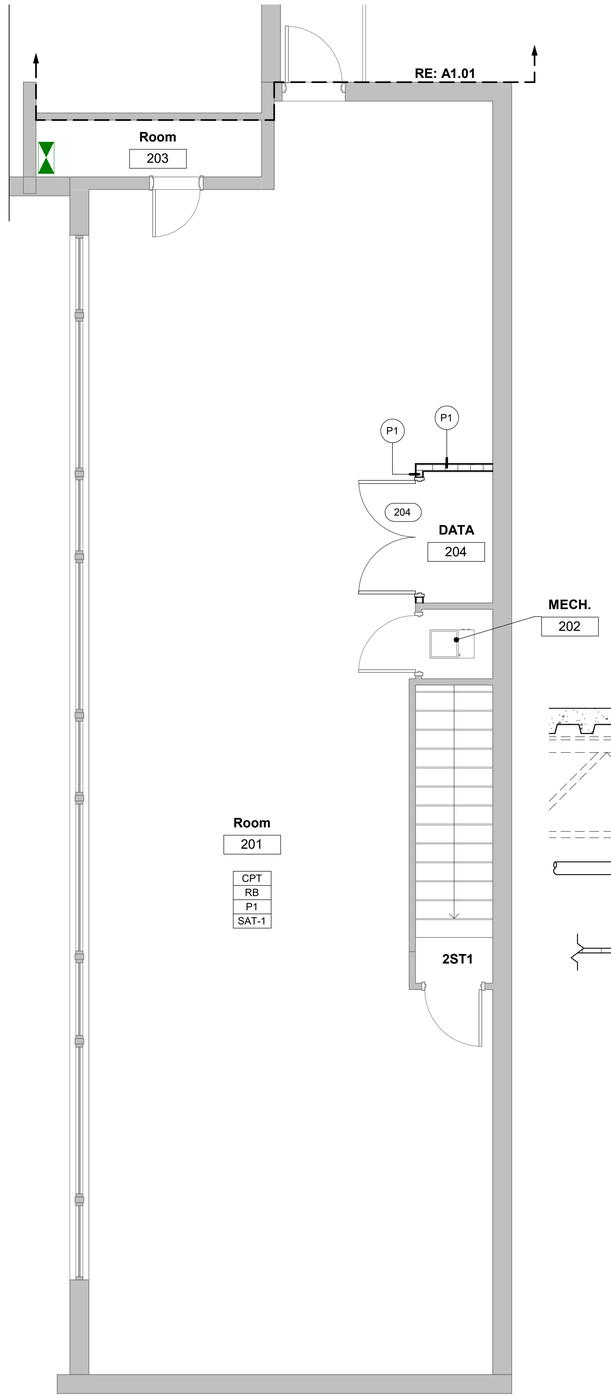


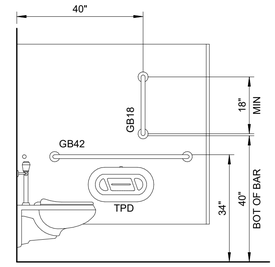
5A FIRST FLOOR PLAN
1/4" = 1'-0"

NORTH

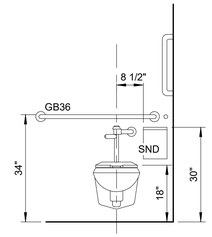


5E SECOND FLOOR PLAN
1/4" = 1'-0"

NORTH

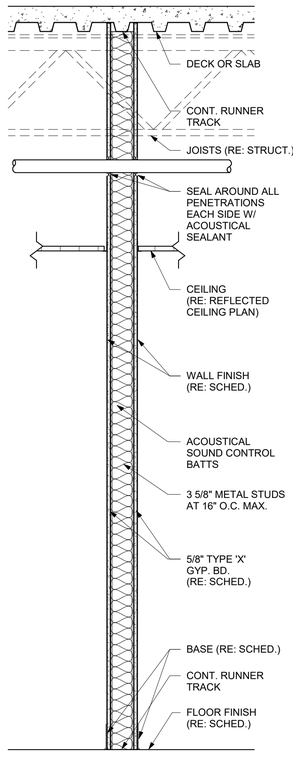


A1 ELEVATION @ SIDE WALL

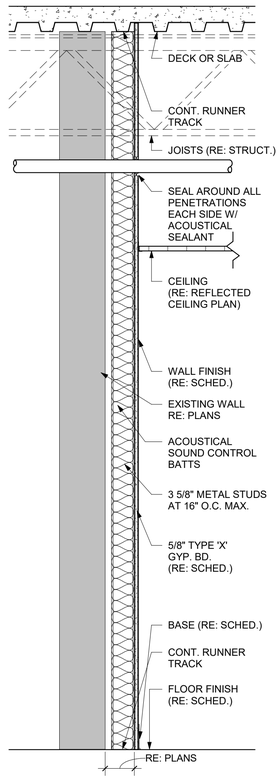


A2 ELEVATION @ REAR WALL

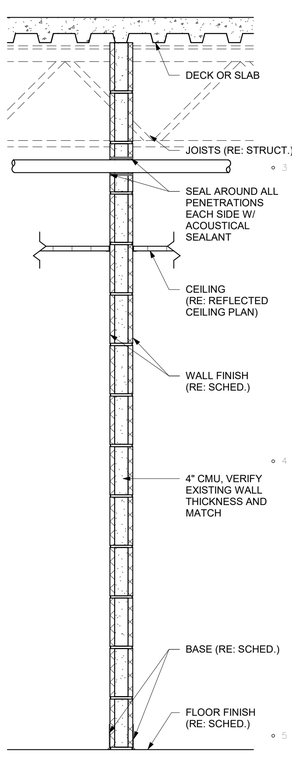
1G TYPICAL TOILET ACCESSORY LOCATION
1/2" = 1'-0"



P1 NON- RATED
NON-BEARING
SOUND PARTITION



P2 NON- RATED
NON-BEARING
FURRING PARTITION



P3 NON- RATED
NON-BEARING
CMU PARTITION

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CLASSROOM WING
FLOOR PLAN

A1.02

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REFLECTED CEILING LEGEND	
SYMBOL	DESCRIPTION
SAT - 1 X' - X" A.F.F.	SAT - 1: 2x2 SUSPENDED ACOUSTICAL LAY-IN CEILING TILE AND GRID, TYPE 1 SEE SPECIFICATIONS
GYP - 1 X' - X" A.F.F.	GYPSUM BOARD CEILING OR SOFFIT
	2x4 LIGHT FIXTURE, RE: ELEC.
	2x2 LIGHT FIXTURE, RE: ELEC.
	CAN LIGHT FIXTURE, RE: ELEC.
	EXIT LIGHT, RE: ELEC.
	2x2 SUPPLY AIR GRILLE, RE: MECH.
	2x2 RETURN AIR GRILLE, RE: MECH.
	2x2 EXHAUST GRILLE, RE: MECH.

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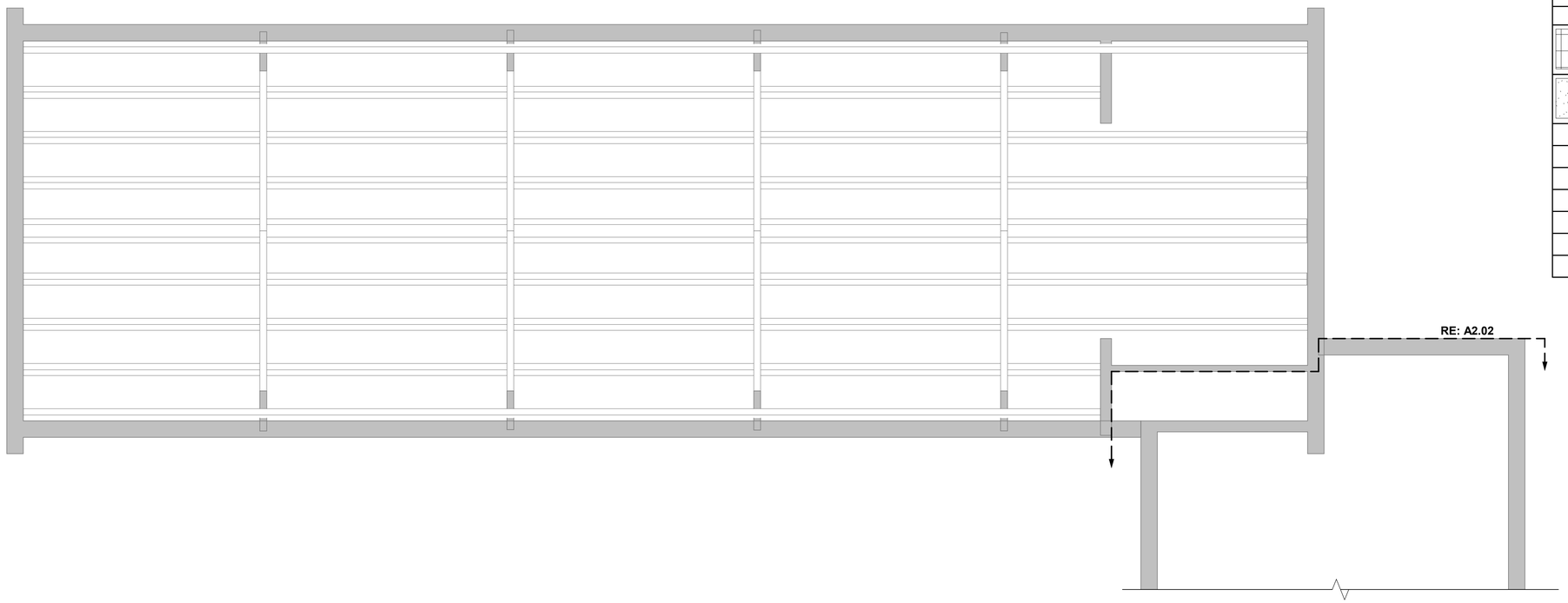
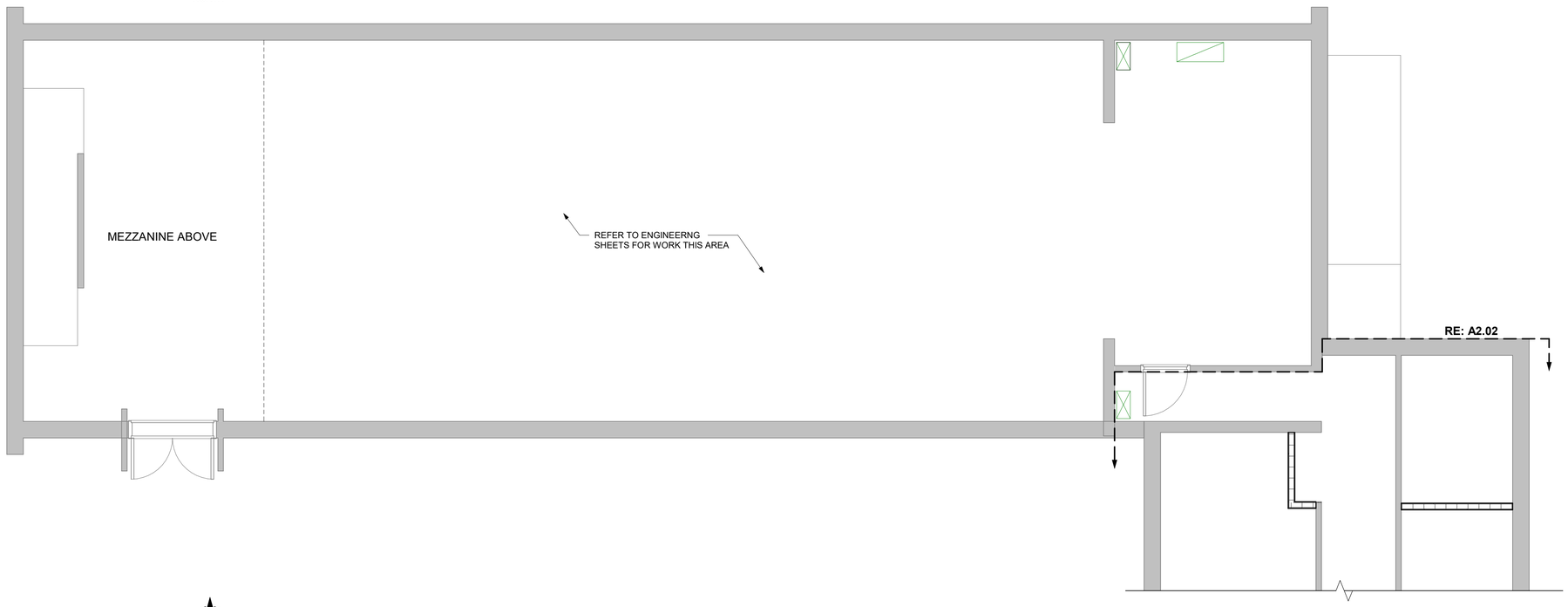


NORTH

2E MEZZANINE REFLECTED CELING PLAN
1/4" = 1'-0"



NORTH

2A AUDITORIUM REFLECTED CELING PLAN
1/4" = 1'-0"

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AUDITORIUM
REFLECTED
CEILING PLAN

A2.01

SCM ARCHITECTS P.L.L.C.

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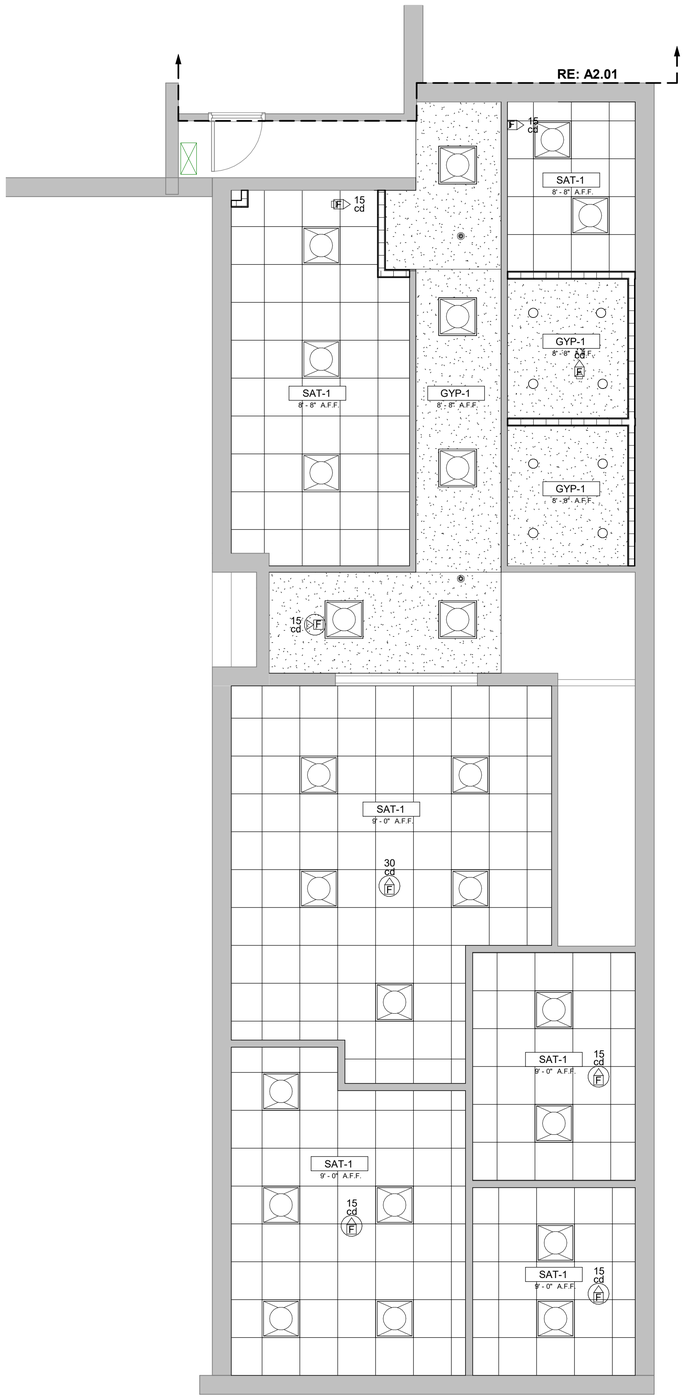
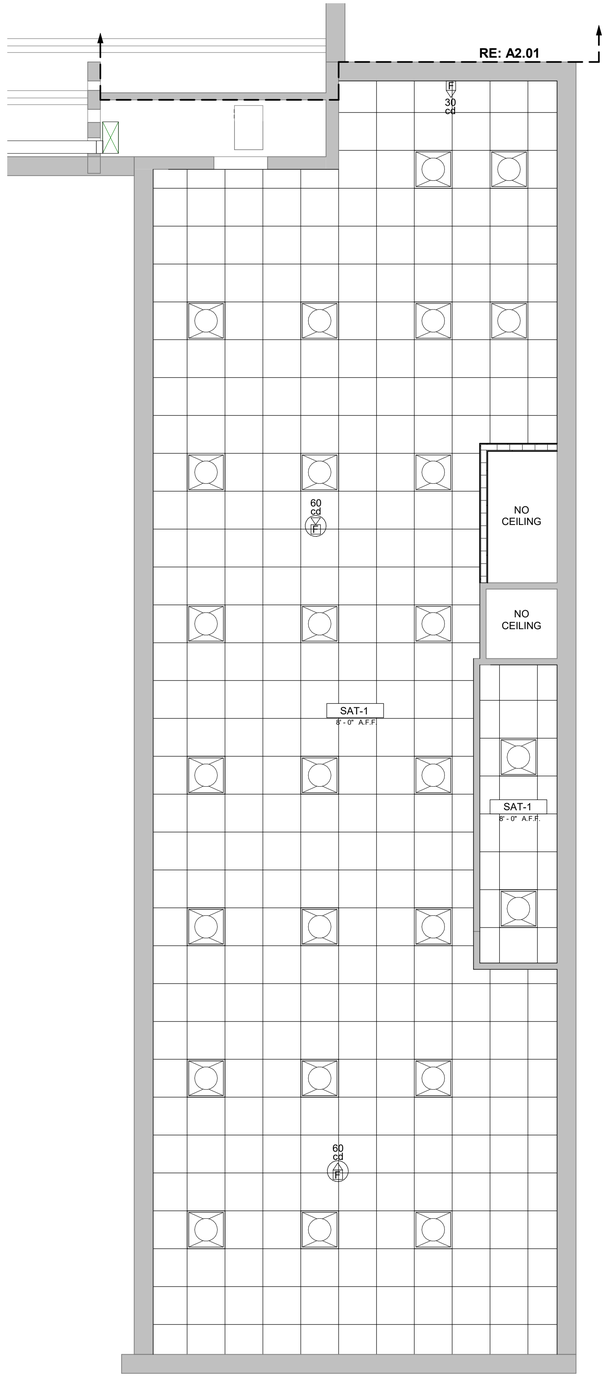


5A CLASSROOM WING FIRST FLOOR REFLECTED CEILING PLAN
1/4" = 1'-0"

NORTH



5E CLASSROOM WING SECOND FLOOR REFLECTED CELING PLAN
1/4" = 1'-0"

NORTH

REFLECTED CEILING LEGEND	
SYMBOL	DESCRIPTION
SAT - 1 X' - X" A.F.F.	SAT - 1: 2x2 SUSPENDED ACOUSTICAL LAY-IN CEILING TILE AND GRID, TYPE 1 SEE SPECIFICATIONS
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	CAN LIGHT FIXTURE, RE: ELEC.
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CLASSROOM WING
REFLECTED
CEILING PLAN

A2.02

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Key Name	LOCATION	TYPE	MANUFACTURER	PRODUCT INFORMATION	FINISH	NOTES	CONTACT
FLOOR FINISH							
CPT	THROUGHOUT	MODULAR CARPET	SHAW CONTRACT	COLLECTION: COMMUNITY / FLAT WEAVE TILE | COLOR: ARGAN (5T321) | SIZE: 9" X 36" |			
FLOOR BASE							
RB	THROUGHOUT	RUBBER BASE	ROPPE	CONTINUOUS 4" VINYL COVE BASE | COLOR: "193 BLACK BROWN"			
WALL FINISH							
P1	THROUGHOUT	PAINT	SHERWIN WILLIAMS	COLOR: PURE WHITE SW7005	EGGSHELL		
CEILING FINISH							
GYP-1	RESTROOMS	PAINT	SHERWIN WILLIAMS	COLOR: PURE WHITE SW7005	FLAT		
SAT-1	THROUGHOUT	ACOUSTICAL CEILNG TILE	ARMSTRONG	ULTIMA HIGH NRC | 1942 | SIZE: 24" X 24" X 7/8" | NRC: .80 | CAC:35 |GRID: SUPRAFINE 9/16" SUSPENSION SYSTEM			

HARDWARE SET SCHEDULE

HARDWARE SETS

NOTE: The following is a general listing of the minimum hardware requirements. Any item of hardware normally required by good practice, or as to meet State and Local codes, shall be furnished even though it may not be specifically mentioned.

HW-1 (DOOR 102 / 103 - RESTROOM)
Each to have:

(I)	3	BUTTS	5BB1 4.5 x 4.5
(SC)	1	LOCK	ND40S
(I)	1	STOP	WS406CVX

HW-2
Each to have: (DOUBLE DOOR 204 - DATA)

(I)	3	BUTTS	5BB1 4.5 x 4.5
(SC)	1	LOCK	ND80PD
(I)	1	STOP	WS406CVX
(R)	2	FLUSH BOLT	555

HW-3
Each to have: (DOOR C103 - MECH.)

(1)	3	HINGE	224HD DARK BRONZE
(V)	1	PANIC DEVICE	99L x 996L x 17 x SNB
(SC)	1	CYLINDER	
(L)	1	CLOSER	4040 CUSH x SNB
(I)	1	STOP	WS406CVX
(NG)	1	THRESHOLD	425HD - RCE x WS/PA
(NG)	1	DOOR BOTTOM	200N
(NG)	1	SET GASKETING	5050
(NG)	1	RAIN DRIP	15 DW + 4"
(R)	2	FLUSH BOLT	555

MANUFACTURERS

A. Product numbers listed are taken from the catalogs of the manufacturers listed as follows:

(I)	H.B. Ives	(L)	LCN
(SC)	Schlage	(NG)	National Guard Products
(V)	Von Duprin	(R)	Rockwood

WOOD DOORS:
SOLID CORE FLUSH WOOD DOOR EQUAL TO GRAHAM PREMIUM WOOD DOOR GPD PC - FD-20. DOOR TO BE PLAIN SLICED RED OAK - PAINT GRADE. PAINT DOOR TO MATCH WALL COLOR. COORDINATE PAINT FINISH WITH ARCHITECT.

HOLLOW METAL FRAMES:
HOLLOW METAL DOORS FRAMES TO BE 16 GAUGE. PAINT FRAMES TO MATCH WALL COLOR. COORDINATE WITH ARCHITECT.

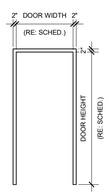
DOOR HARDWARE:
ALL LOCKSET LEVERS TO BE CORBIN/RUSSWIN MORTISE 2000 AS COORDINATED WITH THE OWNER. LEVER TO BE 'NEWPORT' TO MATCH ADJACENT EXISTING DOORS. THE KEYWAY SHOULD BE CORBIN/RUSSIN D1 (COORD. WITH OWNER). MATCH EXISTING ADJANCENT FINISHES. ALL DOOR CLOSERS TO BE ADJUSTED TO MEET ADA REQUIRED 5LBS OF OPENING PRESSURE.

KEYING:
ALL HARDWARE TO BE KEYED TO BUILDING MASTER AND TO MEET UNIVERSITY STANDARDS. COORDINATE CORES W/ UNIVERSITY PRIOR TO PROCUREMENT. NO DOORS KEYED ALIKE. CONFIRM WITH OWNER NUMBER OF KEYS REQUIRED.

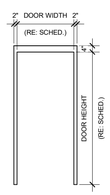
HARDWARE FINISHES:
DOOR HARDWARE FINISHES IN GENERAL TO BE US26.
NOTE - COORDINATE FINAL FINISH SELECTION WITH ARCHITECT AND OWNER.

DOOR SCHEDULE

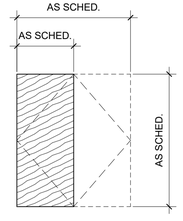
DOOR				FRAME				
NUMBER	TYPE	WD	HGT	TYPE	HEAD	JAMB	SET NO	NOTES
102	A	3' - 0"	6' - 0"	HM-2	4C/A4.01	5C/A4.01	HW-1	
103	A	3' - 0"	6' - 0"	HM-2	4C/A4.01	5C/A4.01	HW-1	
204	AA	6' - 0"	7' - 0"	HM-1	4F/A4.01	5F/A4.01	HW-2	
C001	B	3' - 6"	6' - 0"	HM-2	4A/A4.01	5A/A4.01	HW-3	



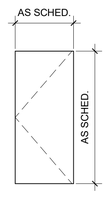
HM-1
HOLLOW METAL FRAME (PAINT)



HM-2
HOLLOW METAL FRAME (PAINT)



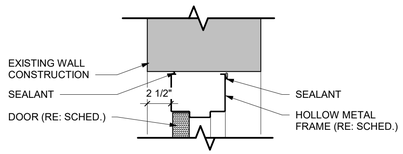
A (SINGLE)
AA (PAIR)
INTERIOR WOOD DOOR



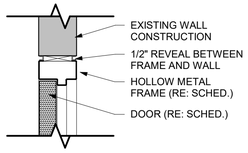
B
EXTERIOR INSULATED HOLLOW METAL DOOR

GENERAL FINISH NOTES

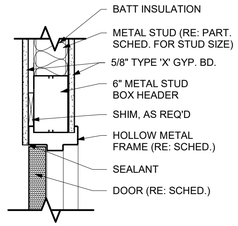
1. REFER TO ARCHITECTURAL DOCUMENTS FOR ADDITIONAL FINISH MATERIAL REQUIREMENTS. ANY DISCREPANCY BETWEEN THIS SCHEDULE AND OTHER CONTRACT DOCUMENTS OR FIELD CONDITIONS SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR RESOLUTION AS OUTLINED IN THE GENERAL CONDITIONS AND DIVISION 01 SECTION – 'QUALITY REQUIREMENTS'.
2. IT IS THE INTENT OF THESE DRAWINGS THAT ALL EXPOSED SURFACES RECEIVE NEW FINISHES AS INDICATED ON THE DRAWINGS OR WRITTEN SPECIFICATIONS UNLESS SPECIFICALLY NOTED OTHERWISE. ANY SURFACE WHICH DOES NOT HAVE A FINISH NOTED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND FINISHED PER THE ARCHITECT'S INSTRUCTIONS.
3. PRODUCTS LISTED AS BASIS OF DESIGN HEREIN AND ON THE FINISH SCHEDULE HAVE BEEN COORDINATED WITH OTHER FINISHES AND APPROVED BY THE OWNER. SUBMITTALS MUST COMPLY WITH SPECIFICATION SECTION 01 33 00 – 'SUBMITTAL PROCEDURES',
4. ANY SUBSTITUTIONS TO THE BASIS OF DESIGN PRODUCT LISTED MUST BE SUBMITTED FOR REVIEW AND APPROVAL AND SUBMITTED IN A MANNER THAT COMPLIES WITH SPECIFICATION SECTION 01 25 00 – 'SUBSTITUTION PROCEDURES'. AN EQUIVALENT MANUFACTURER SUBMITTED MUST MATCH PERFORMANCE, QUALITY, COLOR, PATTERN AND FINISH OF THE REFERENCED MANUFACTURER ON THE FINISH SCHEDULE. REFER TO THE WRITTEN SPECIFICATIONS FOR FURTHER DETAILS ON ALL FINISH MATERIALS.
5. THE CONTRACTOR SHALL IDENTIFY AND PRIORITIZE ALL LEAD TIMES FOR MATERIALS SPECIFIED TO AVOID SCHEDULE CONFLICTS. THIS INCLUDES MATERIALS REQUIRING MOCKUPS. NEITHER THE OWNER NOR ARCHITECT WILL BE HELD RESPONSIBLE FOR INACTION ON THE PART OF THE CONTRACTOR RESULTING IN ADDITIONAL EXPEDITED SHIPPING COSTS OR DELAYS TO THE CONSTRUCTION SCHEDULE.
6. CONTRACTOR TO CONFIRM ALL TRANSITIONS TO EXISTING FLOORING MATERIALS WITH THE ARCHITECT BEFORE PROCEEDING.
7. PROVIDE SUBFLOOR LEVELERS WHERE NECESSARY FOR SMOOTH TRANSITIONS OF ALL FLOOR FINISH MATERIALS. REFER TO FLOOR TRANSITION DETAILS ON SHEET (***) FOR ALL CONDITIONS.
8. ALL WALL FINISHES TO BE APPLIED FROM BREAK-IN-PLANE TO BREAK-IN-PLANE EVEN IF EXTENDS BEYOND AREA DISTURBED BY RENOVATION WORK.
9. CLOSETS OF ROOMS WITHOUT SPECIFIC FINISHES SHALL BE FINISHED WITH SAME FINISHES AS THE ADJOINING ROOM. PAINT GRADE SHELVING TO BE PAINTED TO MATCH ADJACENT WALL COLOR IN SEMIGLOSS FINISH.
10. HM & PAINT GRADE WOOD DOORS & DOOR FRAMES SHALL BE PAINTED FINISH (P*) UNO. REFER TO DOOR SCHEDULES ON SHEET (***) FOR FURTHER DETAILS.
11. HM & PAINT GRADE WOOD FRAMES OF GLAZED OPENINGS SHALL BE PAINTED FINISH (P*) UNO.
12. STOREFRONT, DEMOUNTABLE WALLS AND/OR OPERABLE PARTITIONS SHALL BE FACTORY FINISHED IN COLOR SELECTED FROM MANUFACTURERS STANDARD OFFERING UNO AND AS REFERENCED ON THE FINISH SCHEDULE.
13. ALL DRYWALL SOFFITS, FASCIAS, AND CEILINGS TO BE PAINTED FINISH (P*) UNO. REFER TO REFLECTED CEILING PLAN FOR LOCATIONS.
14. HANDRAILS AND GUARD RAILS OF STAIRS SHALL BE PAINTED FINISH (P*) UNO. STAIR STRINGERS SHALL BE PAINTED FINISH (P*).
15. REFER TO SHEET (***) AND WRITTEN SPECIFICATION SECTION 14 ** ** FOR FURTHER DETAILS AND FINISHES OF ELEVATOR CAB INTERIOR.
16. CONTRACTOR TO PROVIDE MAINTENANCE INSTRUCTIONS FOR ALL FINISHES TO OWNER AT SUBSTANTIAL COMPLETION.



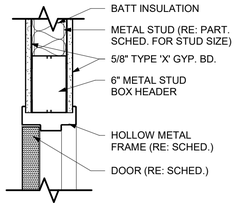
4A EXTERIOR HEAD DETAIL
1 1/2" = 1'-0"



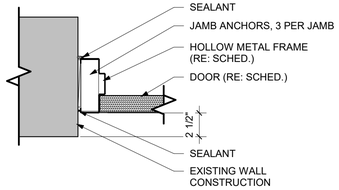
4C INTERIOR HEAD DETAIL AT EXIST. CMU
1 1/2" = 1'-0"



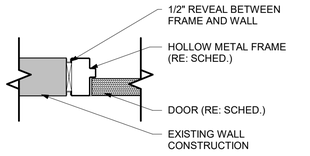
4D INTERIOR HEAD DETAIL
1 1/2" = 1'-0"



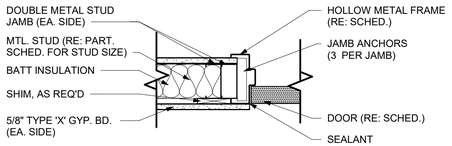
4F INTERIOR HEAD DETAIL
1 1/2" = 1'-0"



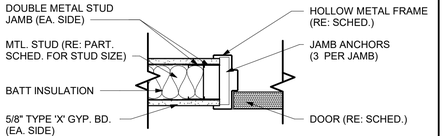
5A EXTERIOR JAMB DETAIL
1 1/2" = 1'-0"



5C INTERIOR JAMB DETAIL AT EXIST. CMU
1 1/2" = 1'-0"



5D INTERIOR JAMB DETAIL
1 1/2" = 1'-0"



5F INTERIOR JAMB DETAIL
1 1/2" = 1'-0"

FINISH SCHEDULE LEGEND

LEGEND KEY

- XXX / XXX / XXX / XXX — INDICATES OVERALL FLOOR / BASE / WALL / CEILING TREATMENT
- X — INDICATES ACCENT TREATMENT
- X X — INDICATES TWO WALL FINISHES, REFER TO ELEVATIONS FOR ADDITIONAL INFORMATION
- XX — INDICATES MILLWORK TREATMENT
- XX/XX — INDICATES COUNTERTOP TREATMENT
- INDICATES CASEWORK TREATMENT
- INDICATES CHANGE OF MATERIALS, SEE TRANSITION DETAILS
- CG — INDICATES CORNERGUARD
- INDICATES WALL PROTECTION EXTENT

MATERIAL CODES

A	ACOUSTICAL TILE	SS	SOLID SURFACE
B	BASE	SST	STAINLESS STEEL
BG	BUMPER GUARD	SWR	SHOWER CURTAIN
C	CARPET	TB	TILE BASE
CC	CUBICLE CURTAIN	TF	TILE FLOOR
CG	CORNER GUARD	TP	TOILET PARTITION
CR	CRASH RAIL	TW	TILE WALL
E	EPOXY FLOORING	TZ	TERRAZZO
EP	EPOXY PAINT	U	UPHOLSTERY
EX	EXISTING TO REMAIN	W	WALL COVERING
HR	HAND RAIL	WD	WOOD
IB	INTEGRAL	WM	WALKOFF MAT
L	LAMINATE	WP	WALL PROTECTION
P	PAINT	WT	WINDOW TREATMENT
RF	RESILIENT FLOOR	XC	SPECIALTY CEILING
S	STONE	XF	SPECIALTY FLOOR
SC	SEALED CONCRETE	XW	SPECIALTY WALL
SPG	SPECIALTY GLASS		

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DATE:
June 14, 2022

FINISH AND DOOR SCHEDULE

A3.01

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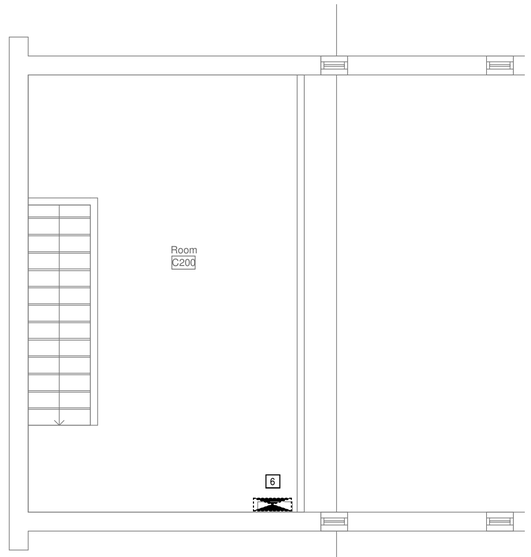
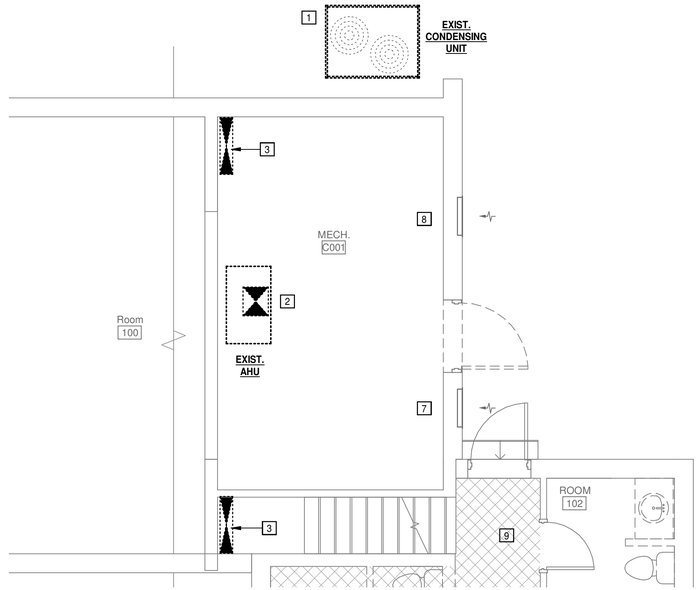


NORTH

2 DEMOLITION MEZZANINE PLAN - HVAC
1/4" = 1'-0"



NORTH

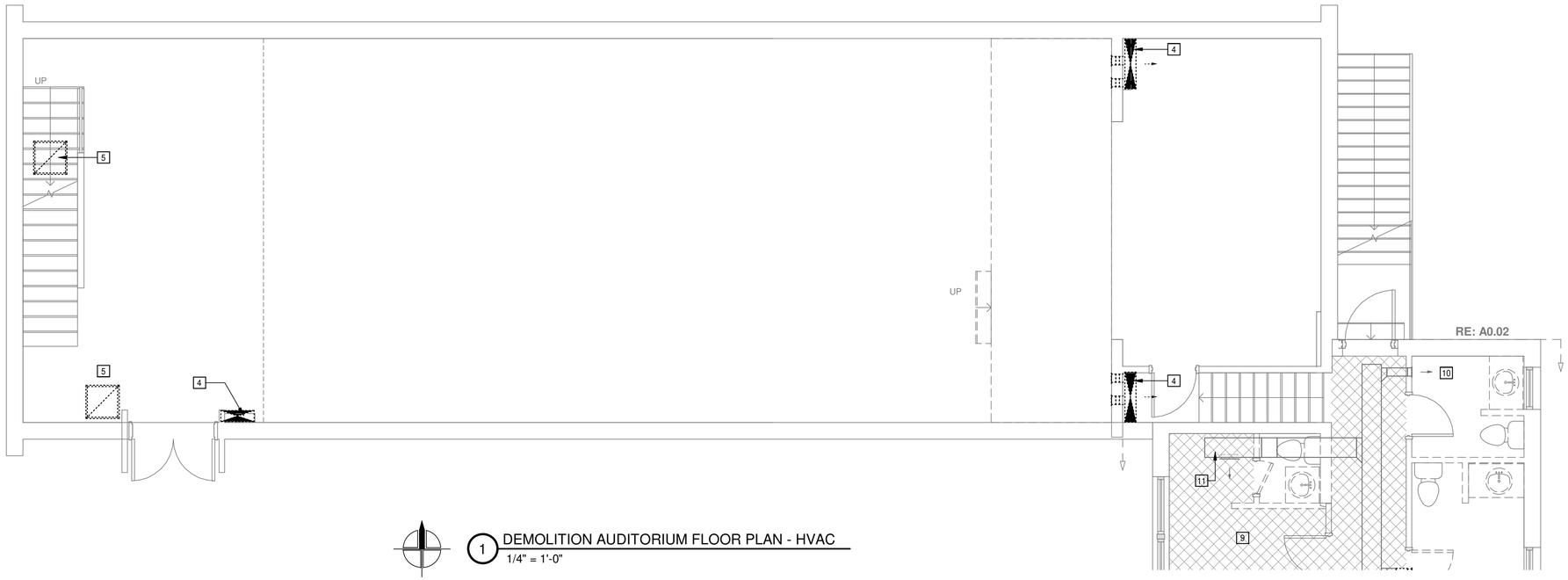
3 DEMOLITION MECH. BASEMENT FLOOR PLAN - HVAC
1/4" = 1'-0"

HVAC GENERAL DEMOLITION NOTES

1. ALL LIGHTER SOLID LINES REPRESENT PIPING, DUCTWORK, EQUIPMENT, ETC. TO REMAIN.
2. ALL DARKER DASHED LINES REPRESENT PIPING, DUCTWORK, EQUIPMENT, ETC. TO BE REMOVED.
3. FIELD VERIFY EXACT SIZE AND LOCATION OF ALL EXISTING ITEMS SHOWN ON THIS PLAN THAT ARE TO BE CONNECTED TO.
4. SEE ARCHITECTURAL PLANS FOR REMOVAL AND REPLACEMENT OF CEILINGS.

HVAC DEMOLITION KEYED NOTES - M0.01

1. EXISTING OUTDOOR CONDENSING UNIT AND ALL ASSOCIATED PIPING / CONTROL DEVICES TO BE DEMOLISHED. INFILL EXISTING OPENINGS IN WALLS ASSOCIATED W/ PIPING, CONDUIT, ETC. CONTRACTOR TO FIELD VERIFY ALL PENETRATIONS.
2. EXISTING TWINNED INDOOR FURNACE AND ALL ASSOCIATED DUCTWORK, PIPING, AND CONTROL DEVICES TO BE REMOVED. SEE PLUMBING SHEETS FOR DETAILS ON DEMOLISHING THE NATURAL GAS PIPING.
3. EXISTING SUPPLY AIR DUCTWORK TO BE DEMOLISHED.EXISTING FLOOR PENETRATION TO REMAIN AND BE RE-USED. SEE DETAIL 1, SHEET M1.01.
4. EXISTING SUPPLY AIR DUCTWORK AND ALL ASSOCIATED AIR DEVICES SERVING AUDITORIUM TO BE REMOVED.
5. EXISTING RETURN AIR GRATE TO BE REMOVED. MECHANICAL CONTRACTOR TO COORDINATE WITH ARCHITECT ON DETAILS OF INFILL.
6. EXISTING SUPPLY AIR DUCTWORK AND AIR DEVICES SERVING AUDITORIOUM MEZZANINE TO BE DEMOLISHED.
7. EXISTING LOUVER TO REMAIN AND BE RE-USED. SEE DETAIL 1, SHEET M1.01.
8. EXISTING LOUVER TO REMAIN BUT NOT TO BE RE-USED. CAP, SEAL, AND INSULATE EXISTING OPENING. MECHANICAL CONTRACTOR TO COORDINATE DETAILS OF INFILL.
9. AREA CROSS HATCHED ON FLOOR PLANS NOT IN MECHANICAL SCOPE.
10. EXISTING AIR DEVICE TO REMAIN.
11. EXISTING SUPPLY AIR DUCT TO REMAIN.



NORTH

1 DEMOLITION AUDITORIUM FLOOR PLAN - HVAC
1/4" = 1'-0"

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DEMOLITION FLOOR PLANS - HVAC

M0.01

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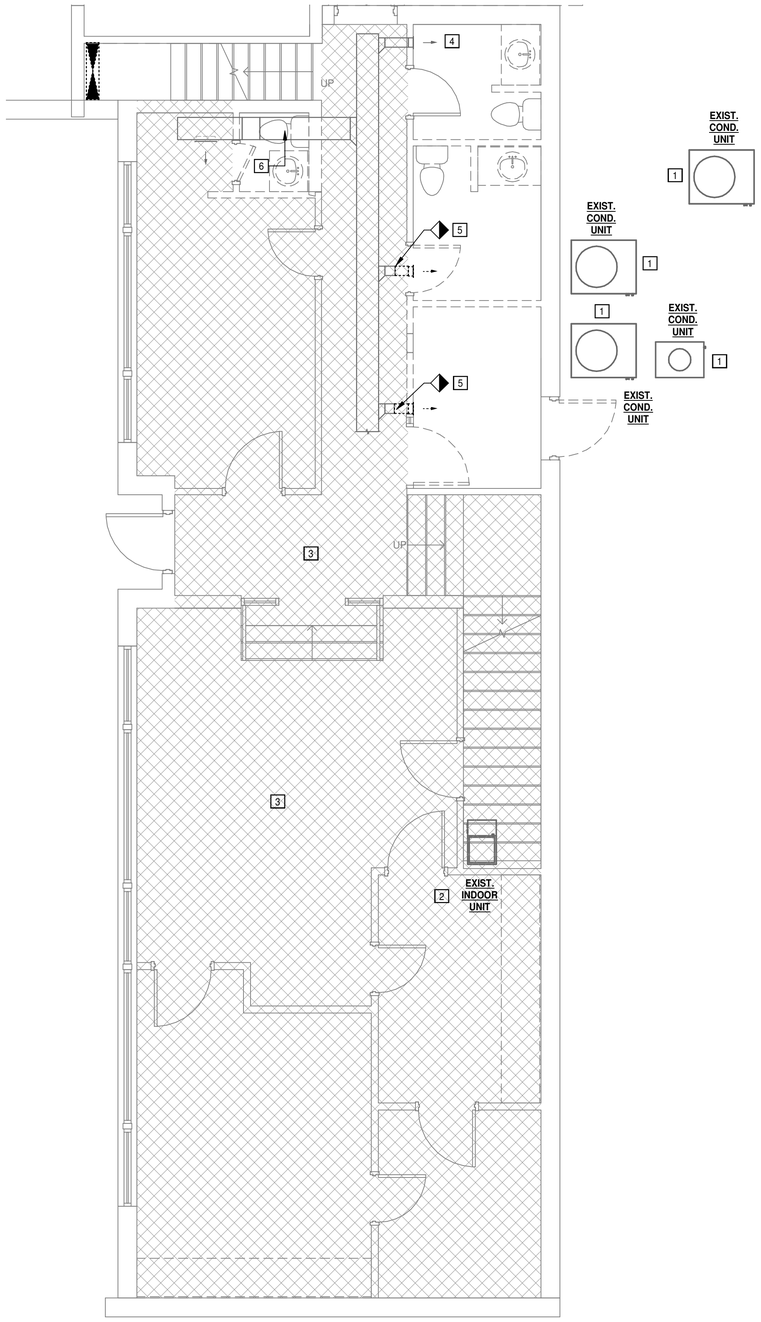

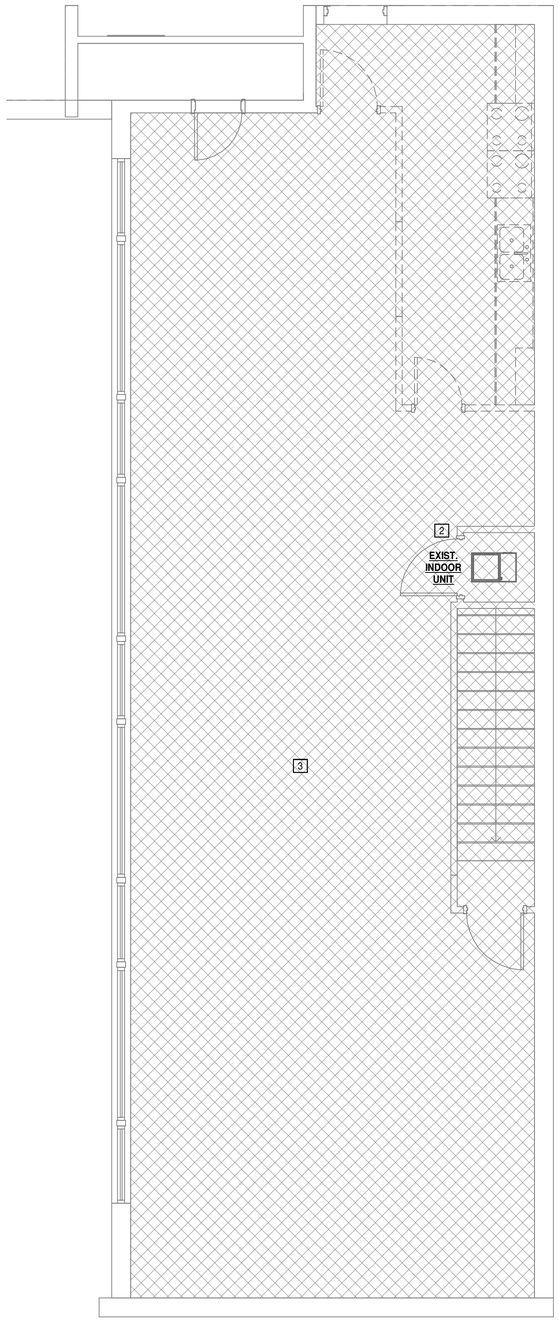

HVAC GENERAL DEMOLITION NOTES

1. ALL LIGHTER SOLID LINES REPRESENT PIPING, DUCTWORK, EQUIPMENT, ETC. TO REMAIN.
2. ALL DARKER DASHED LINES REPRESENT PIPING, DUCTWORK, EQUIPMENT, ETC. TO BE REMOVED.
3. FIELD VERIFY EXACT SIZE AND LOCATION OF ALL EXISTING ITEMS SHOWN ON THIS PLAN THAT ARE TO BE CONNECTED TO.
4. SEE ARCHITECTURAL PLANS FOR REMOVAL AND REPLACEMENT OF CEILINGS.

HVAC DEMOLITION KEYED NOTES - M0.02

1. EXISTING OUTDOOR CONDENSING UNIT AND ALL ASSOCIATED PIPING / CONTROL DEVICES TO REMAIN.
2. EXISTING INDOOR FURNACE AND AND ALL ASSOCIATED DUCTWORK, PIPING, AND CONTROL DEVICES TO REMAIN.
3. AREA CROSS HATCHED ON FLOOR PLANS NOT IN MECHANICAL SCOPE.
4. EXISTING AIR DEVICE TO REMAIN.
5. EXISTING AIR DEVICE TO BE DEMOLISHED. SUPPLY DUCT TO AIR DEVICE TO BE RE-USED.
6. EXISTING SUPPLY AIR DUCT TO REMAIN.

NORTH

1 DEMOLITION CLASSROOM WING FIRST FLOOR PLAN - HVAC
1/4" = 1'-0"

NORTH

2 DEMOLITION CLASSROOM WING SECOND FLOOR PLAN - HVAC
1/4" = 1'-0"

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DEMOLITION FLOOR PLAN - HVAC

M0.02

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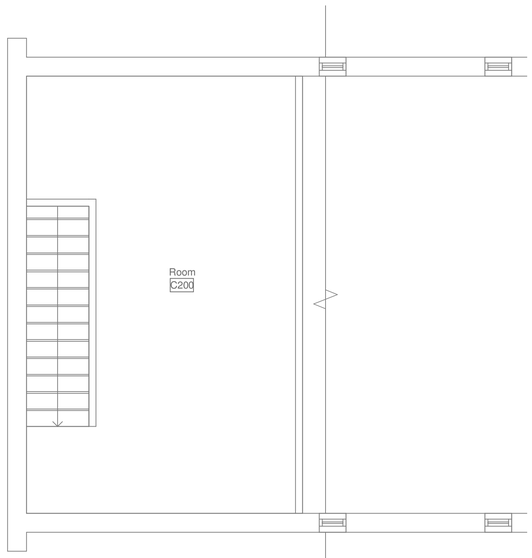
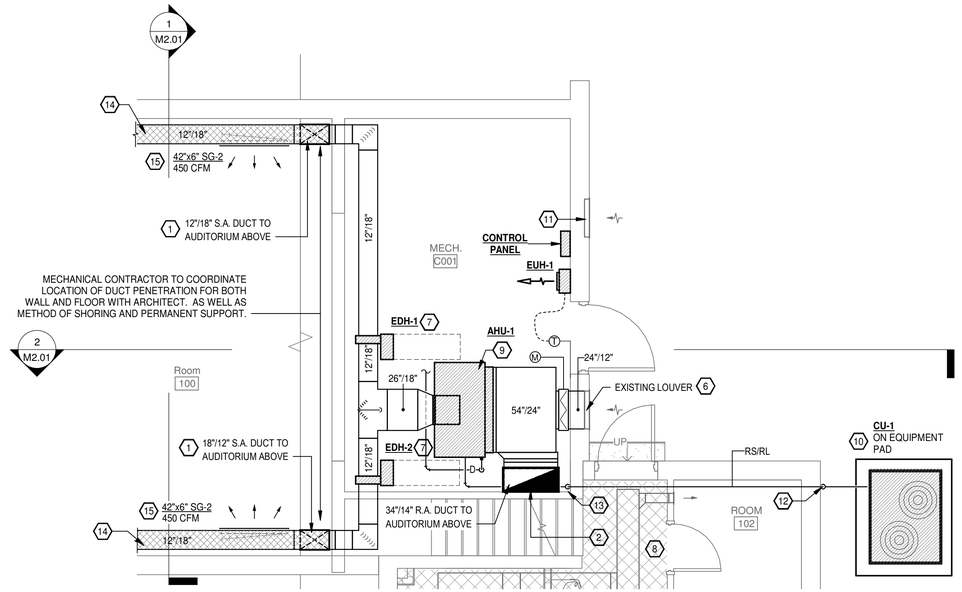


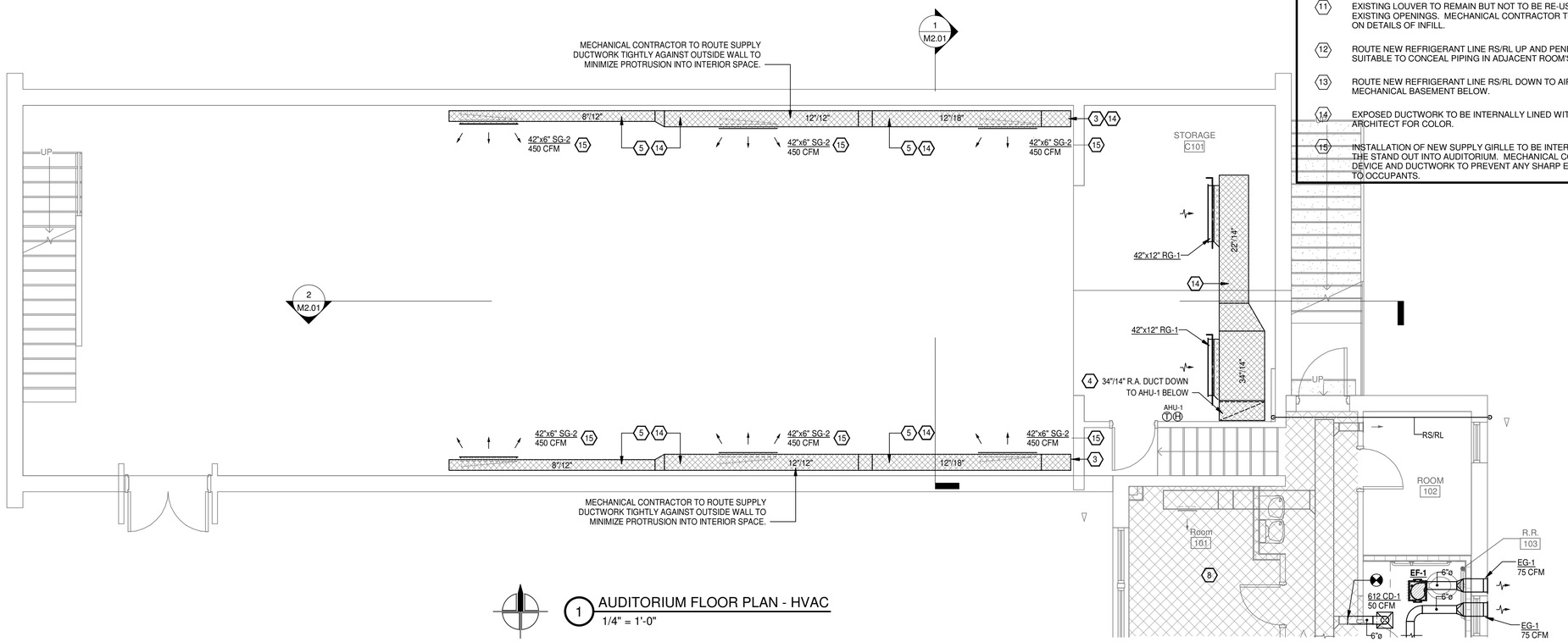
NORTH

2 MEZZANINE FLOOR PLAN - HVAC
1/4" = 1'-0"



NORTH

3 MECH. BASEMENT FLOOR PLAN - HVAC
1/4" = 1'-0"



NORTH

1 AUDITORIUM FLOOR PLAN - HVAC
1/4" = 1'-0"

HVAC GENERAL NOTES

1. ALL LIGHTER SOLID LINES REPRESENT PIPING, DUCTWORK, EQUIPMENT, ETC. TO REMAIN.
2. ALL DARKER SOLID LINES REPRESENT NEW PIPING, DUCTWORK, EQUIPMENT, ETC.
3. FIELD VERIFY EXACT SIZE AND LOCATION OF ALL EXISTING ITEMS SHOWN ON THIS PLAN THAT ARE TO BE CONNECTED TO.

HVAC KEYED NOTES - M1.01

1. ROUTE NEW 18"/12" SUPPLY AIR DUCT UP TO AUDITORIUM ABOVE. SAW CUT EXISTING FLOOR PENETRATIONS TO PROVIDE PATHWAY FOR NEW DUCT. PROVIDE GREENHECK MODEL #ODFD-150 OR APPROVED EQUAL FIRE DAMPER AT FLOOR PENETRATIONS.
2. ROUTE NEW 34"/14" RETURN AIR DUCT UP TO AUDITORIUM ABOVE. SAW CUT AS REQUIRED TO PROVIDE PATHWAY FOR NEW RETURN AIR DUCTWORK. PROVIDE GREENHECK MODEL# ODFD-150 OR APPROVED EQUAL FIRE DAMPER AT FLOOR PENETRATIONS.
3. ROUTE NEW 18"/12" SUPPLY AIR DUCT DOWN TO NEW AIR HANDLING UNIT (AHU-1) BELOW. SAW CUT EXISTING FLOOR PENETRATIONS TO PROVIDE PATHWAY FOR NEW DUCT. PROVIDE GREENHECK MODEL #ODFD-150 OR APPROVED EQUAL FIRE DAMPER AT FLOOR PENETRATIONS.
4. ROUTE NEW 34"/14" RETURN AIR TO NEW AIR HANDLING UNIT (AHU-1) BELOW. SAW CUT AS REQUIRED TO PROVIDE PATHWAY OF NEW RETURN AIR DUCTWORK. PROVIDE GREENHECK MODEL# ODFD-150 OR APPROVED EQUAL FIRE DAMPER AT FLOOR PENETRATIONS.
5. ROUTE NEW SUPPLY AIR DUCT TIGHT TO STRUCTURE. SEE DETAIL 1, SHEET M1.01.
6. ROUTE NEW 24"/12" OUTSIDE AIR DUCT TO EXISTING LOUVER. PROVIDE MOTORIZED DAMPER FOR CONTROL OF OUTSIDE AIR.
7. NEC WORKING CLEARANCE FOR ELECTRIC DUCT HEATERS. COORDINATE CLEARANCES WITH ALL TRADES. MOUNT DUCT HEATERS (EDH-1 & EDH-2) A MINIMUM OF 24" FROM DUCT TRANSITION.
8. AREA CROSS HATCHED ON FLOOR PLANS NOT IN MECHANICAL SCOPE.
9. INSTALL NEW AIR HANDLER (AHU-1) IN EXISTING MECHANICAL BASEMENT ON NEW 4" HOUSE KEEPING PAD. CONTRACTOR TO COORDINATE NEW INSTALLATION IN EXISTING SPACE WITH ALL TRADES WHILE FOLLOWING MANUFACTURER'S SPECIFCATION. MECHANICAL CONTRACTOR TO ROUTE NEW REFRIGERANT PIPING FROM OUTDOOR CONDENSIING UNIT (RC-1) TO AIR HANDLER (AHU-1) FOLLOWING THE MANUFACTURER'S INSTRUCTION CLOESLY. IF AT ANY POINT THE ROUTING OF PIPING DIFFERS FROM WHAT IS SHOWN ON THIS SHEET, PLEASE CONSULT WITH ENGINEER FOR APPROVAL.
10. INSTALL NEW OUTDOOR CONDENSING UNIT (CU-1) ON NEW EQUIPMENT PAD. MECHANICAL CONTRACTOR TO COORDINATE NEW INSTALLATION WITH ALL TRADES WHILE FOLLOWING MANUFACTURER'S SPECIFICATIONS. MECHANICAL CONTRACTOR TO ROUTE NEW REFRIGERANT PIPING FROM OUTDOOR CONDENSING UNIT (CU-1) TO AIR HANDLER (AHU-1) FOLLOWING THE MANUFACTURER'S INSTRUCTION CLOESLY. IF AT ANY POINT THE ROUTING OF PIPING DIFFERS FROM WHAT IS SHOWN ON THIS SHEET, PLEASE CONSULT WITH ENGINEER FOR APPROVAL.
11. EXISTING LOUVER TO REMAIN BUT NOT TO BE RE-USED. CAP, SEAL, AND INSULATE EXISTING OPENINGS. MECHANICAL CONTRACTOR TO COORDINATE WITH ARCHITECT ON DETAILS OF INFILL.
12. ROUTE NEW REFRIGERANT LINE RS/RL UP AND PENETRATE WALL AT AN ELEVATION SUITABLE TO CONCEAL PIPING IN ADJACENT ROOM'S CEILING SPACE.
13. ROUTE NEW REFRIGERANT LINE RS/RL DOWN TO AIR HANDLER (AHU-1 IN MECHANICAL BASEMENT BELOW.
14. EXPOSED DUCTWORK TO BE INTERNALLY LINED WITH PAINT-GRIP FINISH. SEE ARCHITECT FOR COLOR.
15. INSTALLATION OF NEW SUPPLY GIRLLE TO BE INTERNALLY RECESSED TO MINIMIZE THE STAND OUT INTO AUDITORIUM. MECHANICAL CONTACTOR TO INSTALL AIR DEVICE AND DUCTWORK TO PREVENT ANY SHARP EDGES THAT WOULD BE EXPOSED TO OCCUPANTS.

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AUDITORIUM FLOOR PLANS - HVAC

M1.01

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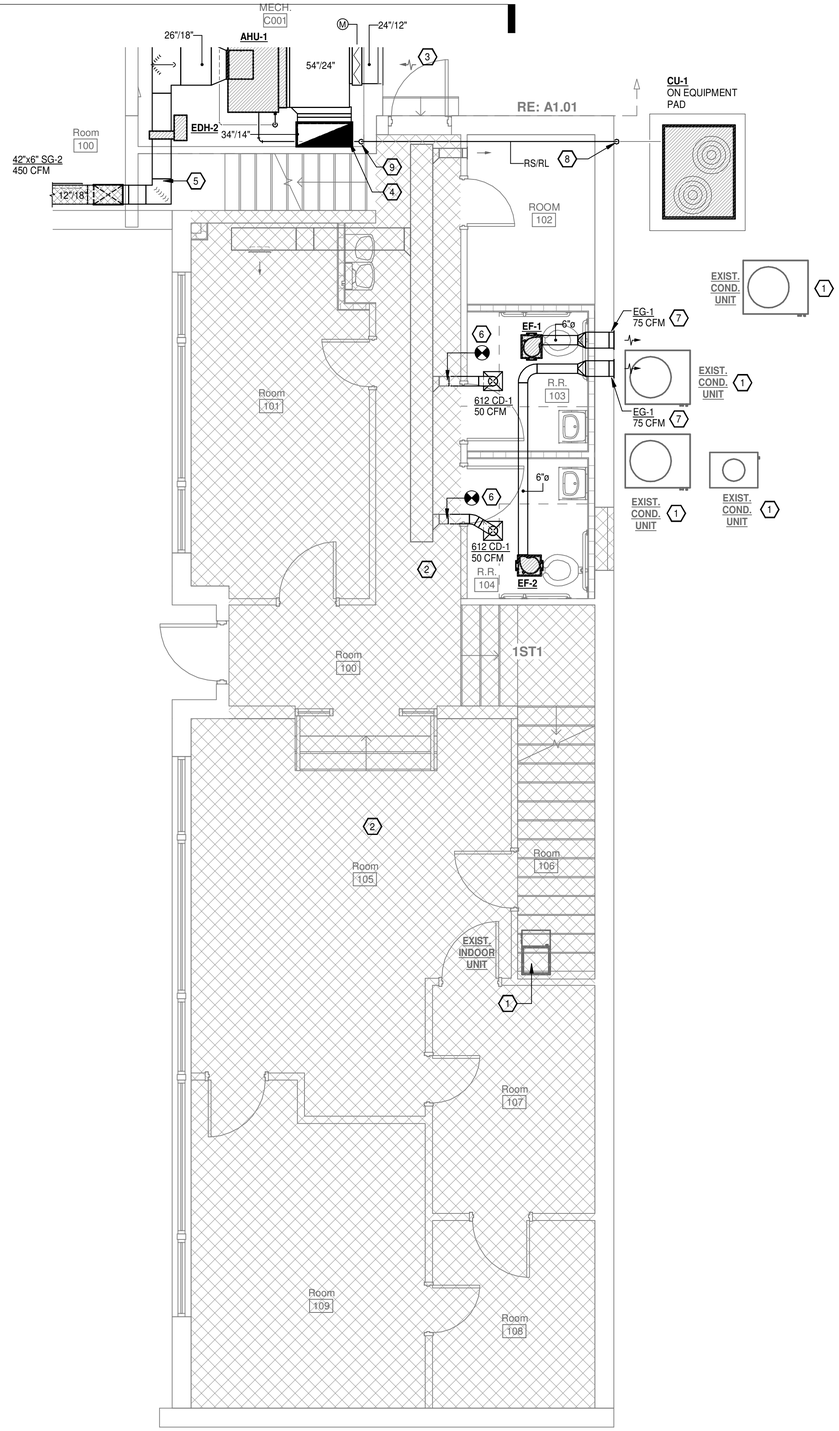
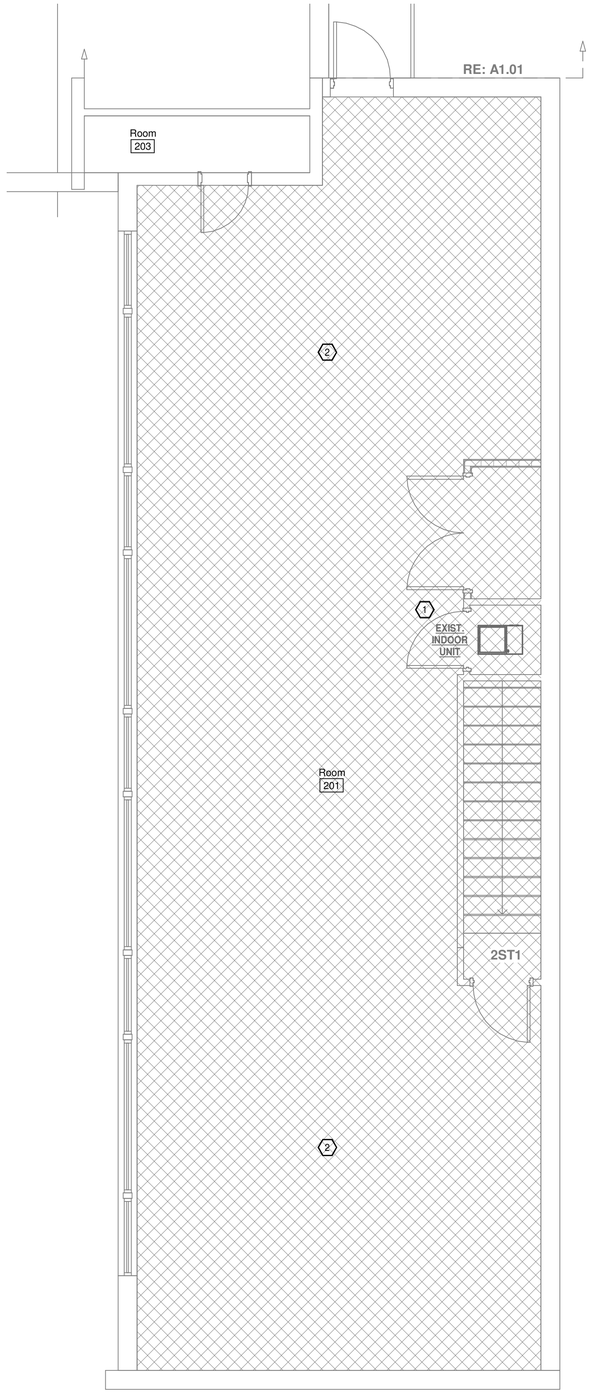


1 CLASSROOM WING FIRST FLOOR PLAN - HVAC
1/4" = 1'-0"

NORTH



2 CLASSROOM WING SECOND FLOOR PLAN - HVAC
1/4" = 1'-0"

NORTH

HVAC GENERAL NOTES

1. ALL LIGHTER SOLID LINES REPRESENT PIPING, DUCTWORK, EQUIPMENT, ETC. TO REMAIN.
2. ALL DARKER SOLID LINES REPRESENT NEW PIPING, DUCTWORK, EQUIPMENT, ETC.
3. FIELD VERIFY EXACT SIZE AND LOCATION OF ALL EXISTING ITEMS SHOWN ON THIS PLAN THAT ARE TO BE CONNECTED TO.

HVAC KEYED NOTES - M1.02

1. EXISTING MECHANICAL EQUIPMENT TO REMAIN.
2. AREA CROSS HATCHED ON FLOOR PLANS NOT IN MECHANICAL SCOPE.
3. EXISTING OUTSIDE AIR LOUVER TO REMAIN AND TO BE RE-USED.
4. ROUTE NEW 34"/14" RETURN AIR DUCT UP TO AUDITORIUM ABOVE. SAW CUT AS REQUIRED TO PROVIDE PATHWAY OF NEW RETURN AIR DUCTWORK. PROVIDE GREENHECK MODEL# ODFD-150 OR APPROVED EQUAL FIRE DAMPER AT FLOOR PENETRATIONS.
5. ROUTE NEW 18"/12" SUPPLY AIR DUCT UP IN EXISTING FLOOR PENETRATIONS TO AUDITORIUM ABOVE. SAW CUT EXISTING FLOOR PENETRATIONS TO ENLARGE AS REQUIRED. PROVIDE GREENHECK MODEL #ODFD-150 OR APPROVED EQUAL FIRE DAMPER AT FLOOR PENETRATIONS.
6. INSTALL NEW SUPPLY AIR DEVICE IN RESTROOM (RR 103 & 104). ROUTE NEW 6" DIA. DUCT TO EXISTING SUPPLY AIR DUCT AS SHOWN. COORDINATE ROUTING OF DUCT WITH EXISITNG SUPPLY AIR BRANCH.
7. INSTALL NEW EXHAUST FANS IN RESTROOMS (RR 103 & 104) . ROUTE NEW 6" DIA. EXHAUST DUCT TO EXTERIOR WALL AS SHOWN. PROVIDE MANUFACTUERE'S APPOVED AIR DEVICE AT TERMINATION. CONTRACTOR TO COORDINATE COLOR OF AIR DEVICE WITH ARCHITECT.
8. ROUTE NEW REFRIGERANT LINE RS/RL UP AND PENETRATE WALL AT AN ELEVATION SUITABLE TO CONCEAL PIPING IN ADJACENT ROOM'S CEILING SPACE.
9. ROUTE NEW REFRIGERANT LINE RS/RL DOWN TO AIR HANDLER (AHU-1) IN MECHANICAL BASEMENT BELOW.

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CLASSROOM WING
FLOOR PLAN - HVAC

M1.02

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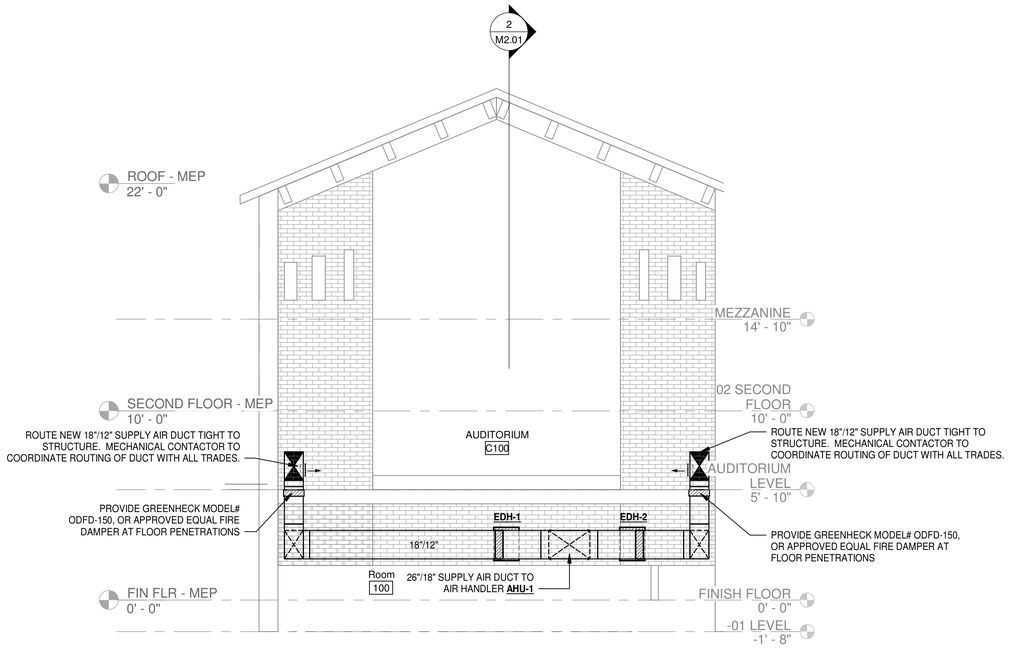
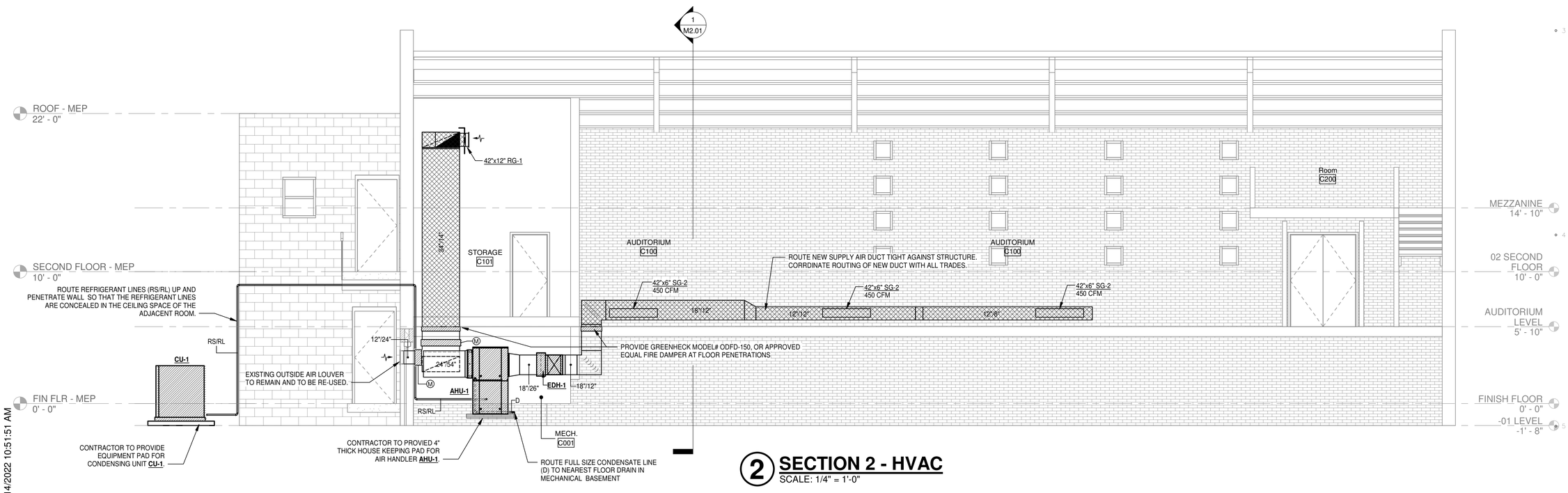


1 SECTION 1 - HVAC
SCALE: 1/4" = 1'-0"



2 SECTION 2 - HVAC
SCALE: 1/4" = 1'-0"

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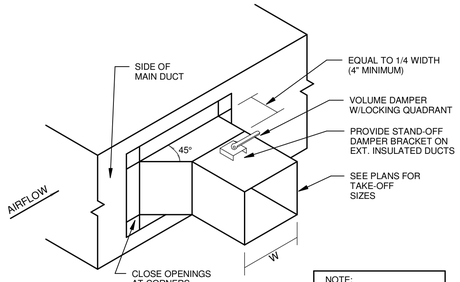
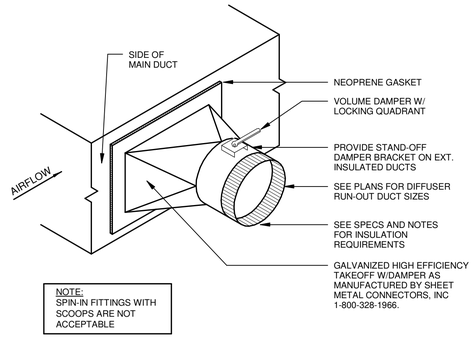
HVAC SECTIONS

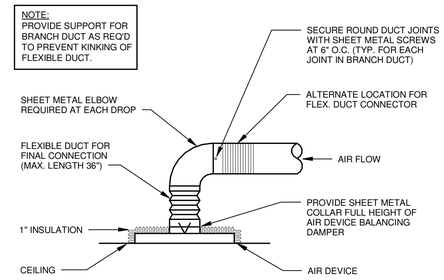
M2.01



1 BRANCH DUCT TAKE-OFF DETAIL
N.T.S.



2 BRANCH DUCT TAKE-OFF DETAIL
N.T.S.



3 DIFFUSER CONNECTION DETAIL
N.T.S.

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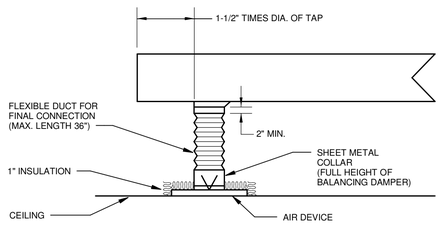
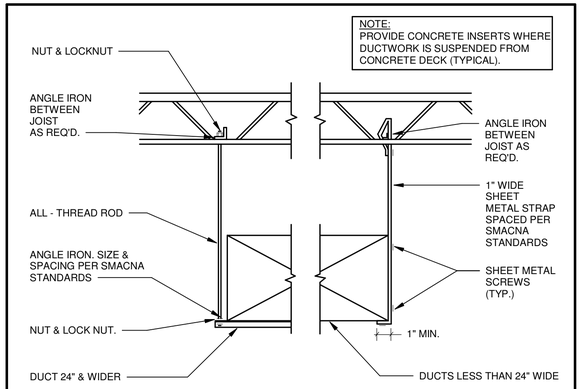


4 DIFFUSER CONNECTION END OF TRUNK DUCT
N.T.S.



5 DUCT SUPPORT DETAIL
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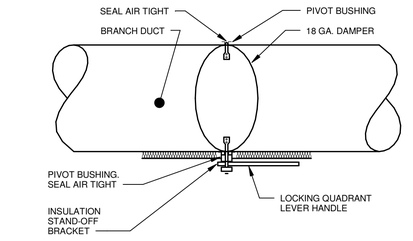
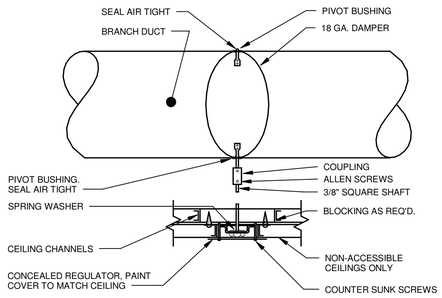


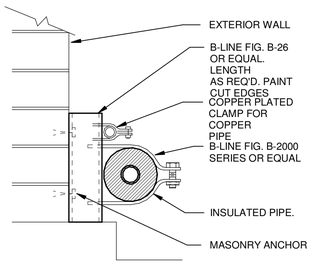
ABOVE ACCESSIBLE CEILINGS

6 MANUAL DAMPER OPERATOR DETAIL
N.T.S.

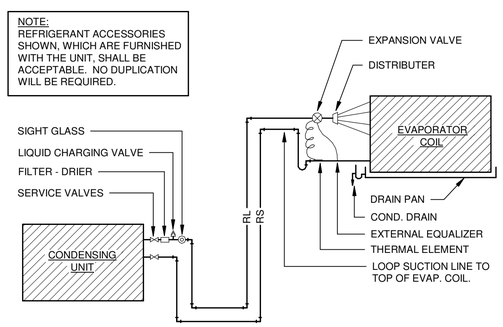


ABOVE NON-ACCESSIBLE CEILINGS

7 MANUAL DAMPER OPERATOR DETAIL
N.T.S.



8 REFRIGERANT PIPE SUPPORT DETAIL
N.T.S.



9 REFRIGERANT PIPING DIAGRAM
N.T.S. HEAT PUMP (1-5 TON)

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UNIVERSITY OF ARKANSAS

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June 14, 2022

HVAC DETAILS

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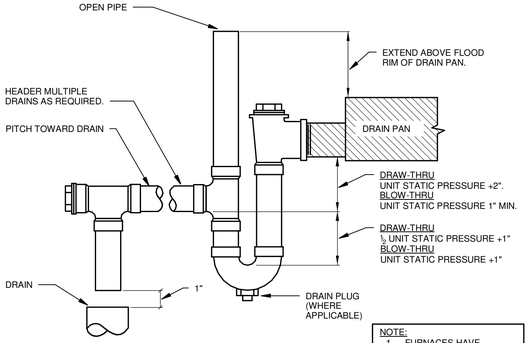
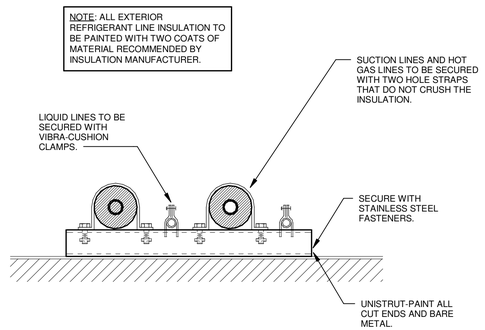
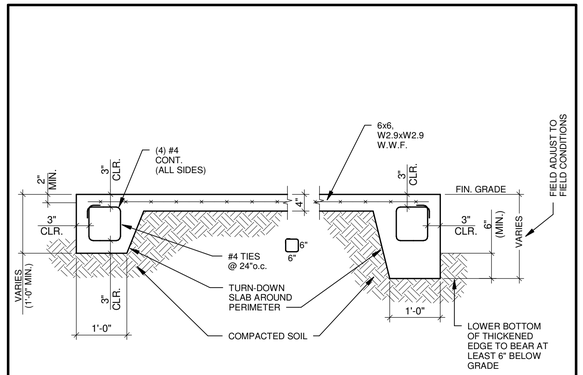


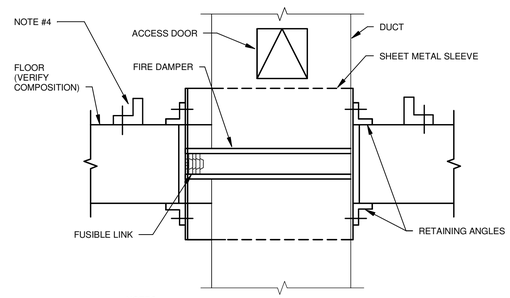
1 CONDENSATE TRAP DETAIL
N.T.S.



2 REFRIGERANT PIPE SUPPORT DETAIL
N.T.S.



3 EQUIPMENT PAD DETAIL
N.T.S.



NOTES:
1. ALL DAMPERS MUST HAVE U.L. 555 LABEL
2. PROVIDE MINIMUM 14"X14" ACCESS DOOR IN ALL DUCTS WHEN SIZE PERMITS. FOR SMALLER DUCTS, MAKE PANEL 2" LESS THAN DUCT.
3. DAMPERS SHALL BE TYPE "B" OR "C" WITH 24 GA. MIN. STEEL CHANNEL FRAMES.
4. CURB SHALL BE 4"X4" GALV. ANGLE, ANCHORED & SEALED TO CONCRETE FLOOR W/ WELDED MITERED CORNERS. AS AN ALTERNATE, PROVIDE 4" HIGH CONCRETE CURB AT DUCT PENETRATION.

4 FIRE DAMPER FLOOR INSTALLATION DETAIL
N.T.S.

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PACKAGED INDOOR AIR HANDLING UNIT SCHEDULE (HEAT PUMP)

DESIG.	MFR/MDL	TYPE	CFM	OSA	ESP/ TSP	COOLING (NET CAPACITY SHOWN)					HEAT PUMP HEATING				ELECTRIC HEAT (DUCT MOUNT)						HOT GAS RE-HEAT			EVAPORATOR FAN				ELECTRICAL DATA (UNIT)			WEIGHT	REMARKS
						TOTAL	SENS	EAT	LAT(COIL)	AMBIENT	RETURN	47° AMB.	17° AMB.	TEMP	EAT	TYPE	CONTROL	TEMP	EAT/LAT	KW	DUCT	EAT	LAT	MBH	HP	DRIVE	NO	FLA	VOLT	MCA	MAX FUSE		
AHU-1	ABOVE AIR TECHNOLOGIES / VKE-096D-3-HGHP0-00-00-1D-00-00-FR-B	HORZ. INDOOR AIR HANDLER	2,700	540 CFM	1.00"	102.8 MBH	71.2 MBH	78.2°F d.b. 65.8°F w.b.	53.9°F d.b. 52.9°F w.b.	91.0°F d.b. 79.0°F w.b.	75.0°F d.b. 63.0°F w.b.	92.5 MBH EAT: 57.4 LAT: 88.9	51.4 MBH EAT: 51.4 LAT: 68.9	0°F OSA 70°F ISA	---°F	EDH-1 & EDH-2	SCR	0°F OSA 70°F ISA	---°F d.b. ---°F w.b.	17 EA.	12"/18"	53.9°F d.b. 52.9°F w.b.	72.1°F d.b. 59.9°F w.b.	53.2	1.5	BELT	1	5.2	208 3ø	39.8	50	1,050	PROVIDED WITH STAINLESS STEEL DRAIN PAN W/ OVERFLOW SWITCH, 2" MERV 13 FILTERS, INTEGRATED CONTROLLER W/ CAPABILITIES FOR EXTERNAL ELECTRIC DUCT HEATER CONTROL.

AIR COOLED CONDENSER SCHEDULE

DESIG.	MFR/MDL	TYPE	WEIGHT	SERVES	COOLING			MOTOR DATA						ELECTRICAL			REMARKS
					T(MBH)	S(MBH)	AMBIENT	COMPRESSOR			CONDENSER FAN			VOLTS/PH.	MCA	MOCP	
								NO	LRA	RLA	HP	DRIVE	NO	FLA				
CU-1	ABOVE AIR TECHNOLOGIES / XP4-096D-1-00-00-00-VF	OUTDOOR PROP FAN	885 LBS.	AHU-1	122.5	---	95°	2	(1) 110.0 (1) 98.0	(1) 16.1 (1) 14.5	3	AXIAL	4	2.0	208 v / 3ø	10.0	15	---

AIR DEVICE SCHEDULE

DESIG.	MFR./MDL.	TYPE	FACE SIZE	FINISH	FREE AREA	ACCESS.	REMARKS
CD-1	TITUS TMS	LOUVER FACE CEILING SUPPLY	AS NOTED	COORDINATE WITH ARCHITECT	---	OPPOSED BLADE DAMPER	PROVIDE W/ 3/4" SPACED BLADES, 22.5° DEFLECTION, FRONT BLADES PARALLEL TO LONG DIMENSION .
SG-1	TITUS 300RL	SIDEWALL SUPPLY GRILLE	AS NOTED	COORDINATE WITH ARCHITECT	---	OPPOSED BLADE DAMPER	PROVIDE W/ 3/4" SPACED BLADES, 22.5° DEFLECTION, FRONT BLADES PARALLEL TO LONG DIMENSION .
SG-2	TITUS 300RL- HD	SIDEWALL SUPPLY GRILLE	AS NOTED	COORDINATE WITH ARCHITECT	---	OPPOSED BLADE DAMPER	PROVIDE W/ 3/4" SPACED BLADES, 22.5° DEFLECTION, FRONT BLADES PARALLEL TO LONG DIMENSION & EXTRACTOR .
RG-1	TITUS 350RL	SIDEWALL RETURN GRILLE	AS NOTED	COORDINATE WITH ARCHITECT	---	OPPOSED BLADE DAMPER	PROVIDE W/ 3/4" SPACED BLADES, 22.5° DEFLECTION, FRONT BLADES PARALLEL TO LONG DIMENSION .

DUCT HEATER SCHEDULE

DESIG.	MFR/MDL	SERVES	LOCAT	TYPE	CFM	MIN. CFM	MIN. FPM	HEATING		ELECTRICAL DATA		REMARKS
								KW	BTU/HR	AMPS	VOLT / PHASE	
EDH-1	GREENHECK / IDHE	AHU-1	MECH. ROOM	SLIP IN DUCT MOUNTED	1,350	598 CFM AT 60°F	399 CFM AT 60°F	17	58,006	48	208/3ø	PROVIDE WITH SCR CONTROL, SERVICE DISCONNECT, PILOT LIGHT, AIRFLOW SWITCH, AND CONTROL TRANSFORMER. DUCT HEATER MOUNTS IN 12" x 18" DUCT
EDH-2	GREENHECK / IDHE	AHU-2	MECH. ROOM	SLIP IN DUCT MOUNTED	1,350	598 CFM AT 60°F	399 CFM AT 60°F	17	58,006	48	208/3ø	PROVIDE WITH SCR CONTROL, SERVICE DISCONNECT, PILOT LIGHT, AIRFLOW SWITCH, AND CONTROL TRANSFORMER. DUCT HEATER MOUNTS IN 12" x 18" DUCT

UNIT HEATER SCHEDULE

DESIG.	MFR/MDL	SERVES	LOCAT	TYPE	CFM	HEATING		BLOWER		ELECTRICAL		REMARKS
						WATTS	BTU / HOUR	HP	VOLT / PHASE	AMPS	VOLT / PHASE	
EUH-1	MARKEL / J3422T	MECH. BASEMENT	MECH. BASEMENT	WALL HEATER	---	2,000	6,826	---	---	5.6	208 / 3ø	PROVIDE WITH MOUNTING KIT FOR IN-WALL INSTALLATION (WALL BOX: 3420) AND UNIT DISCONNECT.

EXHAUST FAN SCHEDULE

DESIG.	MFR/MDL	SERVES	LOCAT.	TYPE	FAN DATA							MOTOR DATA				REMARKS
					CFM	S.P.	RPM	DRIVE	TYPE	DIA.	SONES	RPM	BHP	HP	VOLT/PH	
EF-1	COOK / GC/GCVF GC-146	RR 103	CEILING MOUNT	INLINE	75	0.35"	900	DIRECT	CENTR.	--	1.5	1,100	---	35 W	120 / 1ø	PROVIDE W/ WALL SLEEVE , BACKDRAFT DAMPER, FAN SPEED CONTROL, BIRD SCREEN, AND DISCONNECT SWITCH.
EF-2	COOK / GC/GCVF GC-146	RR 103	CELING MOUNT	INLINE	75	0.35"	900	DIRECT	CENTR.	--	1.5	1,100	---	35 W	120 / 1ø	PROVIDE W/ WALL SLEEVE , BACKDRAFT DAMPER, FAN SPEED CONTROL, BIRD SCREEN, AND DISCONNECT SWITCH.

DUCTWORK LEGEND

- CEILING DIFFUSER (CD)
- RETURN AIR GRILLE (RA)
- EXHAUST REGISTER (ER)
- 624 CD-1 / 100 CFM — SIZE - DESIGNATION / CUBIC FEET PER MINUTE
- FLEXIBLE DUCT CONNECTOR
- TURNING VANES
- SPLITTER DAMPER (TEE)
- INTERNALLY INSULATED DUCT
- EXTRACTOR
- M.D. — MANUAL DAMPER
- F.D. — FIRE DAMPER AND ACCESS DOOR (SMOKE DAMPER S.D. SIMILAR)
- CD — CONDENSATE DRAIN PIPING
- OD — OVERFLOW CONDENSATE DRAIN PIPING
- RS/RL — REFRIGERANT SUCTION AND LIQUID PIPES
- ϕ — DIAMETER
- T5 — THERMOSTAT (WITH UNIT NUMBER)
- 1 / M-1 DETAIL; 2 / M-2 SECTION — TOP NUMBER REFERS TO THE DETAIL NUMBER. BOTTOM NUMBER REFERS TO THE SHEET WHERE DETAIL IS SHOWN

HVAC GENERAL NOTES

1. DUE TO THE SMALL SCALE OF THIS DRAWING, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, AND ACCESSORIES WHICH MAY BE REQUIRED. THE CONTRACTOR SHALL INVESTIGATE THE STRUCTURAL AND FINISH CONDITIONS AFFECTING THE WORK AND SHALL COORDINATE AND ARRANGE HIS WORK ACCORDINGLY.
2. ROUND BRANCH DUCT RUNOUTS SHALL BE SAME SIZE AS DIFFUSER THROAT UNLESS OTHERWISE NOTED.
3. FLEXIBLE DUCT MAY BE USED FOR FINAL CONNECTIONS TO DIFFUSERS. A MAXIMUM LENGTH OF THREE FEET (3') SHALL BE USED. A HARD 90° ELBOW MUST BE USED WHERE DUCT TURNS DOWN ABOVE DIFFUSER.
4. ALL CEILING-MOUNTED SUPPLY DIFFUSERS SHALL HAVE FOUR-WAY (4-WAY) PATTERN UNLESS OTHERWISE INDICATED.
5. WHERE MANUAL DAMPERS ARE INSTALLED IN EXTERNALLY INSULATED DUCTWORK, PROVIDE STAND-OFF BRACKET TO PREVENT COMPRESSION OF INSULATION BY DAMPER OPERATOR HANDLE.
6. PROVIDE TURNING VANES IN ALL 90-DEGREE MITERED ELBOWS.
7. PROVIDE SLEEVES THROUGH WALLS AND FLOORS. SEAL EXCESS OPENING WITH WATER-PROOF SEALANT. COORDINATE LOCATIONS AND SIZES OF SLEEVES WITH GENERAL CONTRACTOR. SLEEVES SHALL PROVIDE A MAXIMUM OF 1" CLEARANCE BETWEEN DUCT OR PIPE AND SLEEVE. SEAL PENETRATION IN FIRE/SMOKE RATED WALLS AND FLOOR WITH AN APPROVED FIRE/SMOKE BLOCK SEALANT.
8. EXTERNALLY INSULATE SUPPLY, RETURN, RELIEF, AND OUTSIDE AIR DUCTWORK UNLESS NOTED OTHERWISE.
9. EXHAUST DUCTWORK SHALL BE UN-INSULATED, UNLESS NOTED OTHERWISE
10. EXTERNALLY INSULATE LOW-VELOCITY ROUND RUNOUT DUCTWORK
11. DUAL WALL DUCTWORK SHALL BE 1" THICK WITH INSULATION BETWEEN WALLS.
12. INSULATE THE TOP OF ALL SUPPLY AIR DIFFUSERS WITH A MINIMUM OF 1/2" THICK FIBERGLASS DUCT WRAP.
13. RUN COOLING COIL CONDENSATE DRAINS FULL SIZE TO NEAREST FLOOR OR ROOF DRAIN.
14. REFER TO ARCHITECTURAL PLANS FOR LOCATIONS OF FIRE AND SMOKE RATED PARTITIONS.
15. COORDINATE LOCATION OF DUCTS AND DIFFUSERS WITH STRUCTURAL FRAMING MEMBERS. OFFSET DUCTS AS REQUIRED TO CLEAR STRUCTURAL MEMBERS.
16. COORDINATE LOCATIONS AND ELEVATION OF DUCT RUNS WITH PLUMBING, SPRINKLER, AND ELECTRICAL CONTRACTORS.
17. COORDINATE MAKE-UP WATER AND GAS REQUIREMENTS WITH PLUMBING CONTRACTOR.
18. PROVIDE ACCESS DOORS FOR ALL FIRE DAMPERS. PROVIDE CEILING ACCESS DOORS FOR DAMPERS ABOVE GYPSUM BOARD CEILINGS.
19. PAINT DUCTWORK BLACK THAT MAY BE VISIBLE ABOVE PARTIAL CEILINGS. COORDINATE PAINTING OF DUCTWORK WITH ARCHITECT.
20. COORDINATE CEILING DIFFUSER LOCATIONS WITH ARCHITECTURAL REFLECTED CEILING PLANS.

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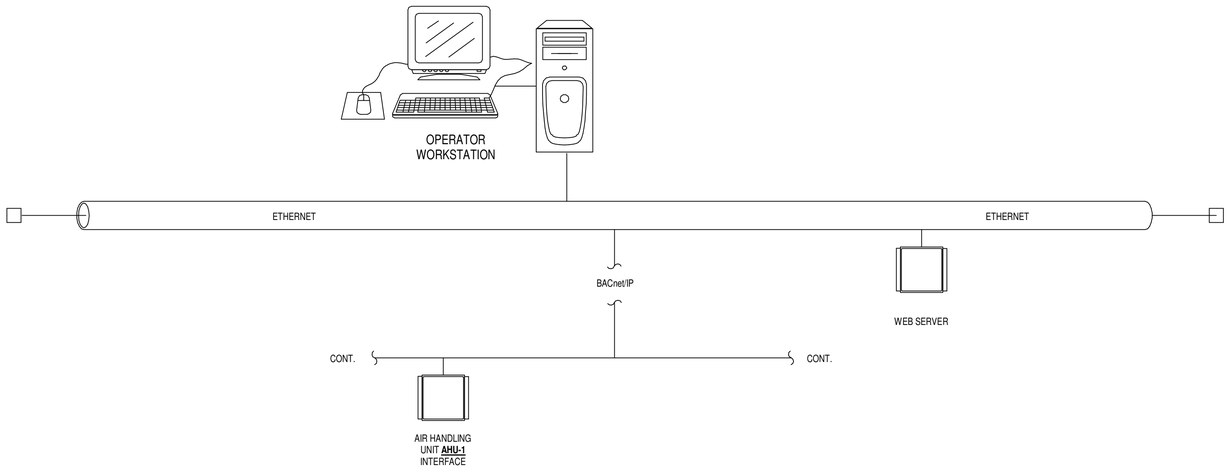
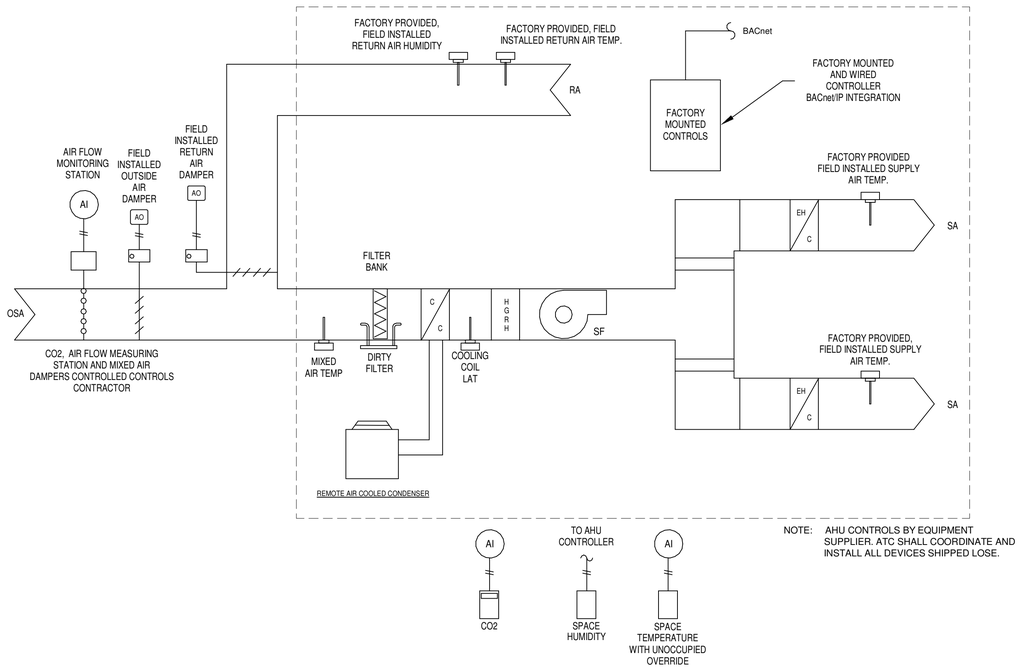


1 SYSTEM ARCHITECTURE
SCALE NTS



NOTE: AHU CONTROLS BY EQUIPMENT SUPPLIER. ATC SHALL COORDINATE AND INSTALL ALL DEVICES SHIPPED LOSE.

2 AIR HANDLING UNIT (AHU-1) INTEGRATION CONTROL DIAGRAM
SCALE NTS

SEQUENCE OF OPERATIONS (AHU-1 & CU-1)

UNIT OPERATION
UNIT OPERATION IS INITIATED WHEN ALL POINTS ARE IN THEIR RUN POSITIONS.

SYSTEM ENABLE: THE SYSTEM ENABLE IS CONTROLLED AT THE UNIT'S DISPLAY TERMINAL, WITHIN THE SYSTEM ENABLE MENU.
REMOTE STOP/START: REMOTE STOP/START NC CONTACTS ARE PROVIDED ON ALL UNITS AND SHIP FROM THE FACTORY JUMPERED FOR CONTINUOUS OPERATION.
BMS CONTROL: THE UNIT IS PROVIDED WITH AN OPTIONAL POINT THAT MAY BE WRITTEN BY A BMS TO INDEX UNIT OPERATION.
SCHEDULE CONTROL: THE UNIT IS PROVIDED WITH A LOCAL SCHEDULE THAT MAY BE SET TO OPERATE THE UNIT IN OCCUPIED OR UNOCCUPIED MODES BASED ON ITS TIME CLOCK.

FAN CONTROL
WHEN THE UNIT IS INDEXED FOR OPERATION AND IN ITS OCCUPIED MODE, THE SUPPLY FAN SHALL BE ENERGIZED AFTER A 30 SEC. (ADJ.) DELAY TO ALLOW FOR OPTIONAL CONTROL DAMPER ACTUATION. THE FAN SHALL RUN CONTINUOUSLY. AFTER AN ADDITIONAL 15 SEC. (ADJ.) DELAY TO ALLOW FOR AIR PROVING, THE UNIT SHALL OPERATE AS DESCRIBED HEREIN.

SYSTEM MODE
THE UNIT PROVIDES AUTOMATIC CHANGE-OVER BETWEEN COOLING, HEATING, AND DEHUMIDIFICATION. THE COOLING AND HEATING SET POINTS ARE SEPARATED BY A DEAD BAND 5°F (ADJ.) TO MINIMIZE UNIT CYCLING AND PREVENT SIMULTANEOUS COOLING AND HEATING. THE DEHUMIDIFICATION SET POINTS ARE ALSO SEPARATED BY A DEAD BAND 10% (ADJ.) .

COOLING OPERATION
ON A RISE IN SPACE TEMPERATURE BY 1°F ABOVE THE COOLING SET POINT 72°F (ADJ.), THE UNIT SHALL ENERGIZE ITS FIRST COMPRESSOR STAGE. THE FIRST COMPRESSOR SHALL ENERGIZE AT 100% AND MODULATE TO MEET THE SPACE SET POINT. FOR DUAL CIRCUIT UNITS, ON A RISE IN SPACE TEMPERATURE BY AN ADDITIONAL 1°F, AND A MIN. DELAY OF 3 MIN., THE SECOND COMPRESSOR STAGE SHALL ENERGIZE.

ON A FALL IN SPACE TEMPERATURE, THE SECOND COMPRESSOR STAGE SHALL DE-ENERGIZE. ON A CONTINUED FALL IN SPACE TEMPERATURE, THE FIRST COMPRESSOR STAGE SHALL BE DE-ENERGIZED.

ALL COMPRESSORS ARE SUBJECT TO A MIN. RUN TIME OF 3 MINUTES AND A MIN. OFF TIME OF 3 MINUTES TO PREVENT SHORT CYCLING.

DEHUMIDIFICATION OPERATION
IF THE UNIT IS NOT OPERATING IN ITS COOLING OR HEATING MODE AND ON A RISE IN SPACE HUMIDITY ABOVE SET POINTS 55% RH (ADJ.) BY 1% RH, THE UNIT SHALL ENTER ITS DEHUMIDIFICATION MODE. THE UNIT SHALL ENERGIZE ITS FIRST COMPRESSOR. THE FIRST COMPRESSOR SHALL ENERGIZE AT 100% AND MODULATE TO MEET THE SPACE SET POINT.

ON A FALL IN SPACE HUMIDITY, THE FIRST COMPRESSOR SHALL BE DE-ENERGIZED.

REHEAT OPERATION
WHEN THE UNIT IS IN ITS DEHUMIDIFICATION MODE, REHEAT IS AVAILABLE TO PREVENT OVERCOOLING OF THE SPACE`. THE HOT GAS REHEAT COIL IS THE FIRST STAGE OF REHEAT. ADDITIONAL ELECTRIC DUCT HEATER **EDH-1** & **EDH-2** SHALL BE ENERGIZED TO MAINTAIN THE HEATING SET POINT.

HEATING OPERATION
ON A FALL IN SPACE TEMPERATURE BY 1°F BELOW THE HEATING SET POINT OF 70°F (ADJ.), THE ELECTRIC DUCT HEATERS **EDH-1** & **EDH-2** SHALL MODULATE TO MEET THE SPACE SET POINT. ON A RISE IN SPACE TEMPERATURE, THE ELECTRIC DUCT HEATERS **EDH-1** & **EDH-2** SHALL MODULATE TO MAINTAIN SPACE SET POINT. ON A CONTINUED RISE IN SPACE TEMPERATURE, THE ELECTRIC DUCT HEATERS SHALL BE DE-ENERGIZED.

HEAT PUMP OPERATION
THE HEAT PUMP OPERATION STAGE SHALL SUPERSEDE THE OTHER HEATING STAGES IN THEIR OPERATIONAL ORDER WHERE CONDITIONS ALLOW.

ON A FALL IN SPACE TEMPERATURE BY 1°F BELOW THE ACTIVE SUPPLY AIR SET POINT, THE UNIT SHALL ENERGIZE ITS FIRST COMPRESSOR STAGE. THE FIRST COMPRESS SHALL ENERGIZE AT 100% AND MODULATE TO MEET THE SPACE SET POINT. ON A FALL IN SPACE TEMPERATURE BY AN ADDITIONAL 1°F, AND A MINIMUM DELAY OF 3 MINUTES, THE SECOND HEAT STAGE SHALL ENERGIZE. ON THE CONTINUED FALL IN SPACE TEMPERATURE THE ELECTRIC DUCT HEATERS SHALL BE ENABLED AS DESCRIBED IN THE HEATING OPERATION SEQUENCE ABOVE.

ON A RISE IN SPACE TEMPERATURE, THE SECOND COMPRESSOR STAGE SHALL DE-ENERGIZE. ON A CONTINUED RISE IN MIXED AIR TEMPERATURE, THE FIRST COMPRESSOR STAGE SHALL DE-ENERGIZE

UNOCCUPIED OPERATION
IF THE UNIT UTILIZES THE SYSTEM SCHEDULE, THEN DURING UNOCCUPIED HOURS THE FAN SHALL BE DE-ENERGIZED. IF THE SPACE TEMPERATURE FALL BELOW THE UNOCCUPIED HEAT SET POINT 60°F (ADJ.) BY 1°F OR RISES ABOVE THE UNOCCUPIED COOLING SET POINT 80°F (ADJ.) BY 1°F, THE FAN SHALL ENERGIZE AND THE UNIT SHALL OPERATE AS DESCRIBED HEREIN. ON SATISFACTION UNOCCUPIED SET POINT, THE UNIT SHALL DE-ENERGIZE THE FAN.

SYSTEM ALARMS
AIR PROVING: A DIFFERENTIAL PRESSURE SWITCH OR CURRENT SENSING SWITCH CLOSES TO CONFIRM AIRFLOW PRIOR TO THE ACTIVATION OF OTHER MECHANICAL COMPONENTS. IF THE SWITCH DOESN'T CLOSE AFTER AND ADJ. TIME DELAY OR OPENS DURING UNIT OPERATION, THE UNIT SHALL LOCK-OUT OPERATION AND ENUNCIATE AN ALARM.

DIRTY FILTER: AN ADJ. DIFFERENTIAL PRESSURE SWITCH SHALL OPEN WHEN THE PRESSURE DROPS ACROSS THE FILTER EXCEED THE DESIRED PRESSURE DROP AND ENUNCIATES AN ALARM.

CONDENSATE ALARM: A CONDENSATE PAN SWITCH CONNECTED TO THE PAN INDICATED THE EVENT OF A HIGH WATER LEVEL STATUS. ON A HIGH CONDENSATE CONDITION, THE CIRCUIT WILL OPEN AND SHUT DOWN ALL MECHANICAL COOLING OR LOCK OUT UNIT OPERATION AND ENUNCIATE AN ALARM.

LIFE SAFETY: A DUCT MOUNTED SMOKE DETECTOR SHALL OPEN A RELAY AND BREAK CONTROL POWER TO THE MICROPROCESSOR. UNIT OPERATION SHALL CEASE. THE LIFE SAFETY ALARM SHALL BE ROUTED THROUGH THE CONTROLLER TO ENUNCIATE AN ALARM AND SIGNAL THE BMS.

OUTSIDE AIR CONTROL
SPACE CO2 LEVELS SHALL BE MONITORED. IF SPACE CO2 EXCEEDS 1,100 PPM THE OUTSIDE AIR DAMPER SHALL BE MODULATED LINEARLY TO THE MAX OSA BASED UPON DEVIATION FROM CO2 SETPOINT UNTIL SATISFACTORY SPACE CO2 LEVELS ARE REACHED.

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PLUMBING GENERAL NOTES

1. THE CONTRACTOR SHALL, PRIOR TO THE START OF ANY WORK UNDER THIS CONTRACT, JOB SITE VERIFY SIZE, LOCATION, ETC. OF ANY EXISTING PIPING NOTED, SHOWN OR IMPLIED, TO WHICH NEW PIPING IS RELATED OR CONNECTED.

2. HOT AND COLD WATER SUPPLIES TO FIXTURES SHALL BE AS FOLLOWS, UNLESS SHOWN OR NOTED OTHER WISE.

WATER CLOSET	1-1/4"
URINAL	1"
LAVATORY	1/2"
SERVICE SINK	3/4"
ELECTRIC WATER COOLER	1/2"
SINK	1/2"
SHOWER	1/2"
FREEZE-PROOF WALL HYDRANT	3/4"
CLINICAL SINK	1-1/4" & 1/2"
ICE MACHINE	1/2"
SUPPLY AND DRAIN UNIT (WASHER BOX)	1/2"
HOSE BIBB	3/4"
EMERGENCY SHOWER EYEWASH	1 -1/4"

3. INSTALL WATER HAMMER ARRESTORS EQUAL TO ZURN "SHOKTROL" AT EACH QUICK CLOSING VALVE, AND AT EACH GROUP OF PLUMBING FIXTURES, AND AS NOTED ON DRAWINGS SIZED AS PER MANUFACTURERS RECOMMENDATIONS. (MUST BE ACCESSIBLE WHERE POSSIBLE, ABOVE CEILING IF NECESSARY)

4. ALL SUPPLIES TO FIXTURE SHALL BE PROVIDED WITH HIGH EAR COUPLING EQUAL TO MUELLER CO. No. C-100HE (1/2", 3/4" OR 1" SIZE) AT THE WALL (ANCHOR TO CROSS MEMBER SUPPORT) BEFORE PIPE ENTERS ROOM SPACE TO ASSURE NO PIPE MOVEMENT WITHIN WALL CAVITY.

5. ALL FLOOR DRAINS SHALL BE PROVIDED WITH DEEP SEAL TYPE TRAP WITH NOT LESS THAN FOUR INCH (4") WATER SEAL AND BE PROVIDED WITH TRAP PRIMER.

6. ALL VENTS THROUGH ROOF (V.T.R.) SHALL BE PROVIDED WITH 6# (24" X 24" SIZE) FLASHING. WHERE STANDING SEAM TYPE IS USED THE FLASHING SHALL BE IN ACCORDANCE WITH THE ROOFING MANUFACTURERS RECOMMENDATION AND AS DETAILED ON THE ARCHITECTURAL DRAWINGS. CLOSE COORDINATION WITH THE ROOFING CONTRACTOR SHALL BE MAINTAINED TO ASSURE THE VENT PENETRATION IS CENTERED WITHIN THE METAL ROOF PANELS. TYPICALLY FOR METAL OR OTHER SPECIAL MATERIAL, ROOFS - USE MANUFACTURED RUBBER BOOT WITH STAINLESS TEEL HARDWARE TYPE THAT IS ARCHITECT APPROVED AND MUST BE COMPATIBLE WITH ROOFING SYSTEM AND ROOF WARRANTY.

7. FLUSH VALVES SHALL BE MOUNTED SUCH THAT THE DIMENSION FROM FLUSH VALVE CENTERLINE TO FINISHED FLOOR SHALL BE 39". (DOES NOT APPLY TO ELECTRONIC FLUSH VALVES) WHERE HANDICAPPED GRAB BARS ARE INSTALLED ON BACK WALL AT CLOSET, FLUSH VALVE SHALL BE MOUNTED AT STANDARD HEIGHT. SEE SPECIFICATIONS AND WATER CLOSET DETAIL.

8. ⬡ WHERE THIS SYMBOL OCCURS ON THE DRAWINGS, REFERENCE SHOULD BE MADE TO THE KEYED NOTES ON THAT SAME SHEET AND THE CORRESPONDING NUMBER OF THAT NOTE.

9. WHERE PLUMBING FIXTURES ARE LOCATED ON EXTERIOR WALL, WATER PIPING SHALL BE INSTALLED ON THE THERMAL SIDE OF THE WALL INSULATION.

10. CLOSE COORDINATION AND COOPERATION SHALL BE MAINTAINED BETWEEN TRADES WITH REGARD TO PLUMBING, HVAC, FIRE PROTECTION AND ELECTRICAL PLANS.

11. PROVIDE CLEANOUT CLEARANCE IN ACCORDANCE WITH THE ARKANSAS STATE PLUMBING CODE, BUT DO NOT LOCATE IN FOOT TRAFFIC PATHWAYS. DO NOT LOCATE CLEANOUTS IN FLOORS WITH CARPET. (FIELD COORDINATE) LOCATE FLOOR CLEANOUT NEAR WALLS, IN JANITORS ROOM, STORAGE ROOM, ETC., DO NOT LOCATE NEAR DOORWAYS.

12. PROVIDE FIRE STOPPING OR FIRE STOP SLEEVE DEVICES AT ALL RATED ASSEMBLIES - SEE ARCHITECTURAL SPECIFICATIONS AND ARCHITECTURAL DRAWINGS FOR DETAILS.

13. TRAP PRIMERS- LOCATE TRAP PRIMERS REASONABLY CLOSE TO PLUMBING FIXTURE (10' TO 20')- DO NOT CONNECT TRAP PRIMER TO WATER LINE LARGER THAN 1 1/2" SIZE- TRY TO LOCATE TRAP PRIMER LOWER THAN PLUMBING FIXTURES. FIELD VERIFY EXACT TRAP PRIMER LOCATIONS AND WATER PIPE ROUTING. TRAP PRIMER SHALL TYPICALLY BE PRECISION PLUMBING PRODUCTS MODEL # P2-500. WHERE FLOOR DRAINS OCCUR NEAR WATER CLOSETS - USE VACUUM BREAKER TRAP PRIMER - SLOAN "TP" - MODEL VBF-72A - EXPOSED 3/8" TUBING SHALL BE VERY MINIMAL AND CHROME PLATED WITH CAST CHROME FLANGE TO WALL.

14. COORDINATE EXACT LOCATIONS OF ALL PLUMBING PIPING WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS.

15. VERIFY WITH ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS OF ALL "ADA" PLUMBING FIXTURES

16. ALL SANITARY SEWER RISERS SHALL HAVE CLEANOUT AT THE BASE (WALL CLEANOUT OR FLOOR CLEANOUT)

17. ALL STORM DRAIN PIPING SHALL HAVE CLEANOUT PLUGS AT EACH 90° TURN ABV CEILINGS AND HAVE A FLOOR OR WALL CLEANOUT AT THE BASE OF ALL RISERS.

18. INSTALL PIPING EXPANSION JOINTS IN ALL PIPING THAT CROSSES BUILDING EXPANSION JOINTS. SEE ARCHITECTURAL AND STRUCTURAL DRAWINGS AND PLUMBING ROOF PLAN FOR BUILDING EXPANSION JOINT LOCATIONS.

19. TWO-WAY CLEANOUTS SHALL BE INSTALLED AT THE JUNCTION OF THE BUILDING DRAIN AND THE BUILDING SEWER (TYP ALL AREAS) - MUST BE INSTALLED TO MEET PLUMBING CODES, EVEN IF NOT SHOWN ON DRAWING - VERIFY AND COORDINATE WITH CIVIL UTILITY DRAWINGS.

PLUMBING LEGEND

SYMBOL	DESCRIPTION		
———	SOIL, WASTE, OR SANITARY SEWER	⫴	UNION
——SS——	SANITARY SEWER (ON SITE)	FD	FLOOR DRAIN
- - - - - - - - - -	SANITARY VENT	RD	ROOF DRAIN
——CWV——	COMBINATION WASTE AND VENT	AD	ACCESS DOOR
——W——	WATER (ON SITE)	VTR	VENT THRU ROOF
—— · ——	COLD WATER	HB	HOSE BIBB
—— - - ——	HOT WATER	FPWH	FREEZE PROOF WALL HYDRANT
—— - - - ——	HOT WATER RETURN	CO	CLEANOUT PLUG
——SD——	STORM DRAIN	FCO	FLOOR CLEANOUT
——D——	INDIRECT DRAIN	AFCO	FLOOR CLEANOUT WITH ACID RESISTANT PIPING AND FITTINGS
——G——	NATURAL GAS (LOW PRESSURE GAS)	WCO	WALL CLEANOUT
——▶——	FLOW DIRECTION	ECO	EXTERIOR CLEANOUT
——⋈——	GATE VALVE	R / 1	DENOTES - SANITARY VENT STACK THRU ROOF
——⋈——	GLOBE VALVE	RISER DIAGRAM LOCATION SHEET # / RISER DIAGRAM #	RISER DESIGNATION
——⋈——	CHECK VALVE		NEW CONNECTION TO EXISTING
——⋈——	BALL VALVE	×—×—×—×	EXISTING PIPING TO BE REMOVED OR ABANDONED
——⋈——	PLUG COCK - GAS COCK	———	EXISTING PIPING TO REMAIN
——⋈——	PRESSURE REDUCING VALVE	×—×[	CAP AND SEAL AIR OR WATER TIGHT
——⋈——	STRAINER	×—×‖	TERMINATION POINT OF DEMOLITION

FIXTURE LEGEND

SYMBOL	DESCRIPTION
⚡	NEW FIXTURE
▫	ROUGH IN AND FINAL CONNECT ONLY
▫	EXISTING FIXTURE TO REMAIN
▫	EXISTING FIXTURE TO BE REMOVED
⚡	EXISTING FIXTURE (RELOCATED, OR REPAIRED - SEE NOTES)

WATER HEATER SCHEDULE

1. WH-1 WATER HEATER - A.O. SMITH MODEL DEL-20, COMMERCIAL ELECTRIC, 20 GALLON TANK CAPACITY, 3 KW INPUT, 120-VOLT. FURNISH T&P RELIEF VALVE. FURNISH CASH ACME VR-801 VACUUM RELIEF VALVE. GALVANIZED STEEL PAN 26"-30" DRIP PAN. FURNISH B&G PR-1 ALL BRONZE CIRCULATING PUMP 120 VOLT WITH AQUASTAT IN HWR LINE. FURNISH AMTROL ST-5 EXPANSION TANK (2 GALLON CAPACITY MIN.)

PLUMBING FIXTURE SCHEDULE

TYPE MARK	MANUFACTURER	MODEL	DESCRIPTION	ADA COMPLIANT	TRIM	SUPPLIES	TRAP	GPM	SUPPORT	COMMENTS
EWC-1	Oasis International	PGF8SBFSL	Versacooler II (with VersaFilter System) Split Level shall deliver 8 gallons of 50 degree F water at 80 degree in let water and 90 degree F ambient. Bubblers shall be chrome-plated brass (or stainless steel) and built in regulator to deliver smooth ready stream at supply pressures from 20 to 125 psi. Model shall include PG8AC and 'VersaFiller' Sports Bottle Filler with hands free activation. Cooler top shall be 304 stainless steel with anti-splash design. Cooler frame shall be 16-gage welded steel and prime coated for corrosion protection. Cabinet Finish shall be Brushed Stainless Steel. Water cooler shall have 5-year warranty on sealed refrigeration system and most component parts.			McGuire H-ST12LK heavy cast brass straight stop with loose key handle, 1/2 inch size;	McGuire 8088 (1-1/4 inch) polished chrome plated cast brass adjustable ground swivel pattern with cleanout;		Zurn Z-1225-BL 'Rigid Plate System' having steel uprights with support plates, and bearing jacks mounted on adjustable header	NOTE: See Architectural drawings for exact locations and mounting height requirements.
FPWH	Zurn	Z-1300	'Ecolotrol' anti-siphon, non-freeze, 3/4 inch size nickel bronze casing and all bronze interior parts and non turning operating rod with free floating compression closure valve, nickel bronze face, integral backflow preventer, union elbow inlet, wall clamp and key handle. Box face and hinged cover shall be nickel bronze complete with operating key and 'Water' cast on cover.							
L-1	Kohler	K-2032	'Greenwich' wall mounted, 20 inch by 18 inch size, vitreous china with back, rectangular basin, splash lip, front overflow and two soap depressions		Sloan Model EBF-650 sensor operated faucet, ADA compliant, 0.5 GPM aerator, polished chrome, McGuire 155-A grid drain, perforated strainer and 1-1/4 inch tailpiece. Sloan below deck thermostatic mixing valve, Model EL-154 transformer.	Mcguire H2167LK 1/2 inch IPS heavy cast brass angle stop, loose key handle, annealed vertical tube, chrome plated cast brass set screw escutcheon, c.p. brass nipple to wall;	Mcguire 8872 (1-1/4 inch) polished chrome plated cast brass adjustable 'P' trap with cleanout and 17-gage tubing to wall with C.P. cast brass set screw escutcheon;		Zurn Z-1231 concealed arm carrier having steel uprights with adjustable headers.	NOTE: All exposed supply (hot and cold water) and drain piping shall be insulated to meet ADA requirements. P-Trap and angle valve assemblies shall be covered with molded, anti-microbial Truebro, Inc. 'Lav-Guard' Model #102 (verify exact model required). Color grey. Cover shall be secured with snap-clips. Angle stops shall have lock-lid access covers.
WC-1	Kohler	K-3999	Highline Comfort Height Toilet, vitreous china, 1.28 gpf, two piece tank and bowl, 12 inch rough in, elongated rim, floor mounted, Olsonite 95-SS 'Industrial' seat - finish white, extra heavy duty plastic for elongated bowl, open front with concealed check hinge, self-sustaining feature and stainless steel hinge post.			McGuire LF2166CCLK loose key closet supply, chrome plated.	Integral with Fixture		Floor Mounted	Rim of fixture to be 16 1/2" above finished floor

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PLUMBING GENERAL NOTES AND LEGENDS

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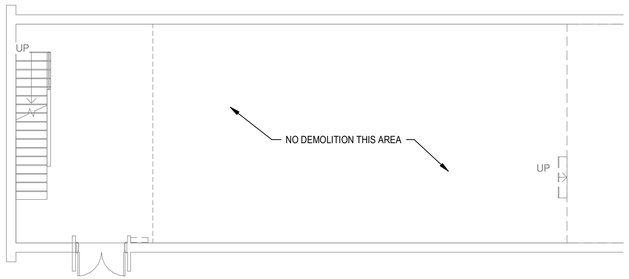
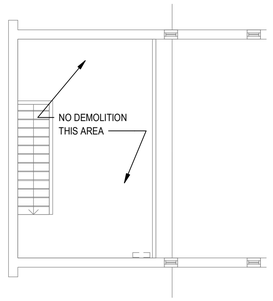


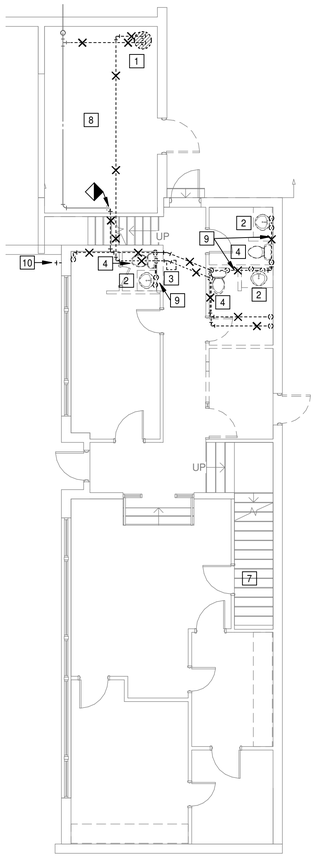
1 DEMOLITION AUDITORIUM FLOOR PLAN - PLUMBING
1/8" = 1'-0"

NORTH



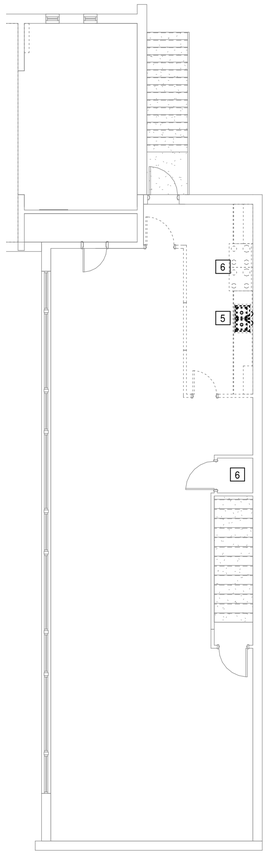
2 DEMOLITION MEZZANINE PLAN - PLUMBING
1/8" = 1'-0"

NORTH



3 DEMOLITION CLASSROOM WING FIRST FLOOR PLAN - PLUMBING
1/8" = 1'-0"

NORTH



4 DEMOLITION CLASSROOM WING SECOND FLOOR PLAN - PLUMBING
1/8" = 1'-0"

NORTH

GENERAL PLUMBING DEMOLITION NOTES

1. FIELD VERIFY EXISTING PLUMBING FIXTURE LOCATIONS, TYPE ETC- VERIFY EXISTING PLUMBING PIPING LOCATIONS, SIZES, ETC.
2. CUT WALLS, FLOORS OR CEILINGS AS REQUIRED TO INSTALL NEW PIPING. ALL FURRING AND REPAIRING SHALL BE BY THE GENERAL CONTRACTOR. COORDINATE REQUIREMENTS WITH THE GENERAL CONTRACTOR.
3. REWORK EXISTING WATER, SANITARY, ACID WASTE, AND VENT PIPING AS REQUIRED TO INSTALL NEW PLUMBING FIXTURES.
4. WHERE EXISTING FIXTURES AND EQUIPMENT ARE REMOVED AND NOT REPLACED, CAP ALL PIPING WITHIN WALLS, FLOORS OR CEILINGS ARE REQUIRED FOR CONCEALMENT.
5. REMOVE ALL EXPOSED EXISTING PIPING WHICH IS DEEMED INOPERABLE AS A RESULT OF THIS CONTRACT UNLESS SHOWN OR NOTED OTHERWISE.
6. EXISTING PIPE, TO WHICH NEW PIPE IS CONNECTED, SHALL BE RODDED, FLUSHED AND CLEANED FROM POINT OF CONNECTION TO MAIN OUTSIDE BUILDING.
7. EXISTING FLOOR DRAINS WITHIN SCOPE OF CONSTRUCTION SHALL BE THOROUGHLY CLEANED AND BUFFED. EXISTING PIPING SHALL BE RODDED AND CLEANED TO THE POINT OF CONNECTION TO THE MAIN.
8. ALL PLUMBING FIXTURES, VALVES, PIPING, AND EQUIPMENT WHICH ARE TO BE REMOVED AND NOT RELOCATED SHALL BECOME THE PROPERTY OF THE OWNER AND DELIVERED TO STORAGE ON SITE AS DIRECTED BY THE OWNER.

PLUMBING DEMOLITION KEYED NOTES

1. REMOVE WATER HEATER AND ALL ASSOCIATED PIPING.
2. REMOVE LAVATORY AND ALL ASSOCIATED PIPING. CAP VENT ABOVE CEILING AND WASTE IN WALL. REMOVE ANY UNUSED VENT OR SANITARY PIPE NO LONGER IN USE. REMOVE HOT AND COLD WATER ALONG WALL.
3. REMOVE DRINKING FOUNTAIN AND ALL ASSOCIATED PIPING.
4. REMOVE WATER CLOSET AND ALL ASSOCIATED PIPING. CAP VENT ABOVE CEILING AND WASTE BELOW FLOOR. REMOVE ANY UNUSED VENT OR SANITARY PIPE NO LONGER IN USE. REMOVE COLD WATER ALONG WALL. REPAIR FLOOR BACK TO ORIGINAL CONDITION.
5. REMOVE SINK AND ALL ASSOCIATED PIPING. CAP VENT ABOVE CEILING AND WASTE BELOW FLOOR AND PREPARE PIPE FOR FUTURE SINK . CAP HOT AND COLD WATER BELOW FLOOR - PROVIDE SHUT-OFF VALVE AND CAP.
6. CAP GAS BELOW FLOOR.
7. CAP GAS AT WALL.
8. CAP GAS AT ALL MECHANICAL EQUIPMENT BEING REMOVED DURING DEMO PHASE. SEE MECHANICAL DEMOLITION PLAN FOR COMPLETE LIST.
9. REMOVE HOT AND COLD WATER EXPOSED ON WALL. CAP ABOVE CEILING.
10. REMOVE HOSE BIBB AND PREPARE AREA FOR NEW HOSE BIBB LOCATED IN SAME PLACE.

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DEMOLITION PLANS
- PLUMBING

P0.01

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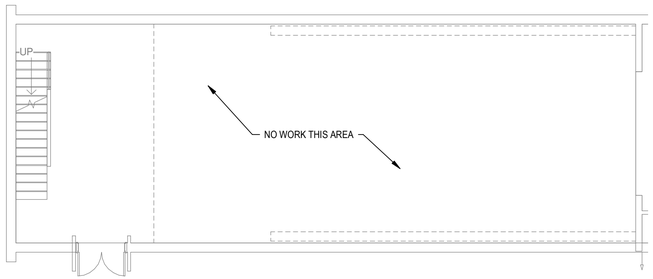
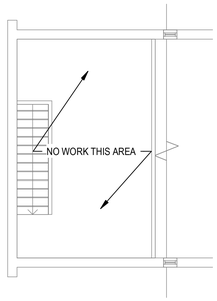


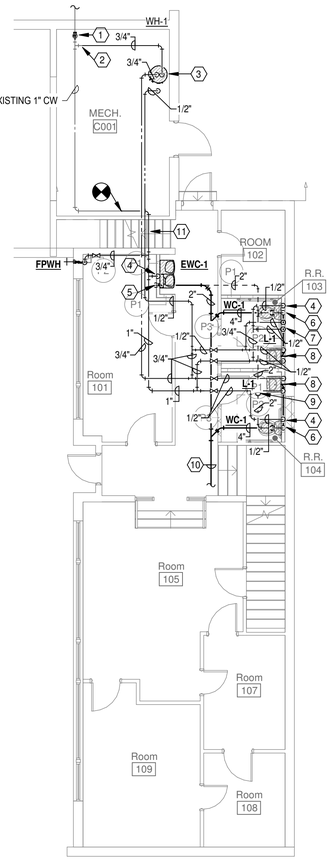
1 AUDITORIUM FLOOR PLAN - PLUMBING
1/8" = 1'-0"

NORTH



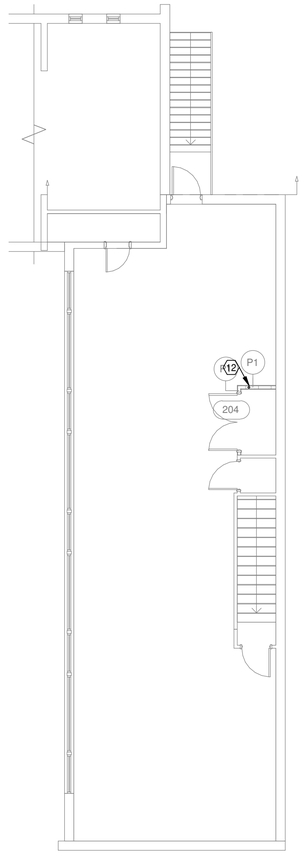
2 MEZZANINE FLOOR PLAN - PLUMBING
1/8" = 1'-0"

NORTH



3 CLASSROOM WING FIRST FLOOR PLAN - PLUMBING
1/8" = 1'-0"

NORTH



4 CLASSROOM WING SECOND FLOOR PLAN - PLUMBING
1/8" = 1'-0"

NORTH

PLUMBING KEYED NOTES

1. PROVIDE AND INSTALL WATTS SERIES LF909 RPZ (FIELD VERIFY 1" WATER LINE) IN VERTICAL POSITION. CONTRACTOR TO FOLLOW MANUFACTURERS INSTALLATION INSTRUCTIONS AND CITY OF FAYETTEVILLE GUIDELINES. PIPE DISCHARGE THROUGH EXTERIOR WALL.
2. CONNECT 3/4" COLD WATER PIPE TO EXISTING WATER LINE. RUN TO WH-1.
3. 3/4" COLD WATER TO WATER HEATER. 3/4" HOT WATER TO BUILDING.
4. 1/2" COLD WATER DOWN.
5. 2" WASTE DOWN, 2" VENT UP.
6. 4" WASTE DOWN, 2" VENT UP.
7. 1/2" COLD AND HOT WATER UP FOR FUTURE SINK. PROVIDE SHUT-OFF VALVES ABOVE CEILING AND CAP BELOW 2ND FLOOR.
8. 1/2" COLD AND HOT WATER DOWN.
9. 3" VENT UP.
10. 4" WASTE BELOW FLOOR. CONNECT TO NEAREST EXISTING WASTE BELOW FLOOR. SAW CUT FLOOR AS REQUIRED AND REPAIR BACK TO ORIGINAL CONDITION AFTER INSTALLATION. FIELD VERIFY LOCATION AND CONDITION OF EXISTING SAN SEWER AND COORDINATE ALL SAW CUTTING WITH ARCHITECT.
11. ROUTE NEW COLD WATER, HOT WATER, AND HOT WATER RETURN IN SAME LOCATION AS EXISTING PIPE.
12. 2" VENT PIPE FROM BELOW. TIE IN TO EXISTING VENT THRU ROOF 2" OR LARGER.

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FLOOR PLANS - PLUMBING

P1.01

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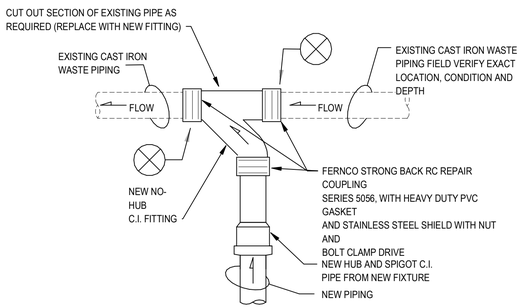
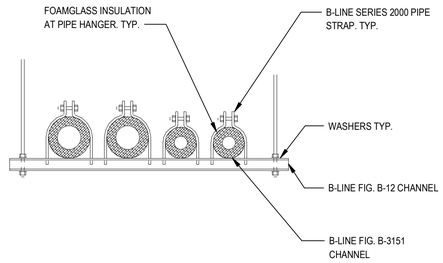


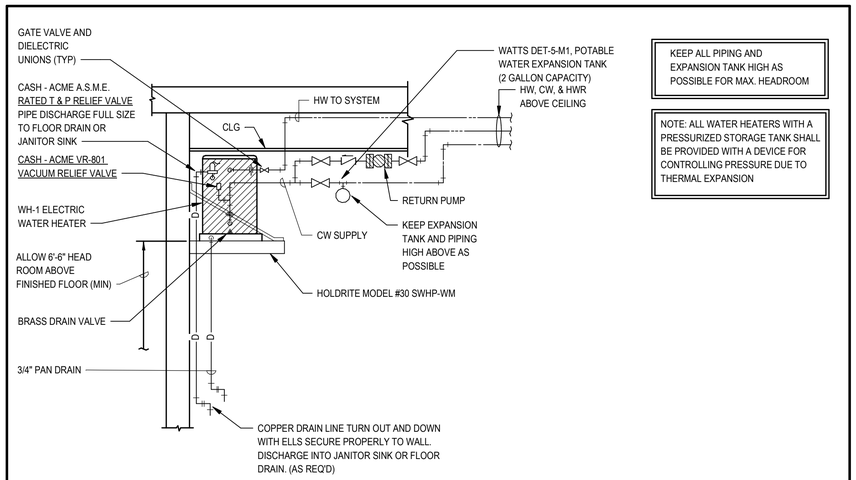
1 CONNECTIONS OF NEW FITTINGS IN EXISTING WASTE PIPING BELOW FLOOR

SCALE: NONE



3 PIPING SUPPORT DETAIL

SCALE: NONE

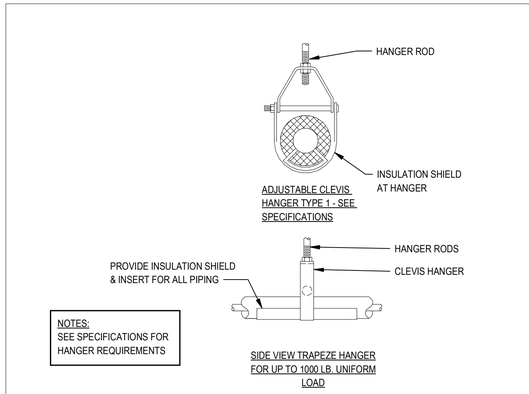


ELEVATION

5 WH-1 ELECTRIC WATER HEATER DETAIL

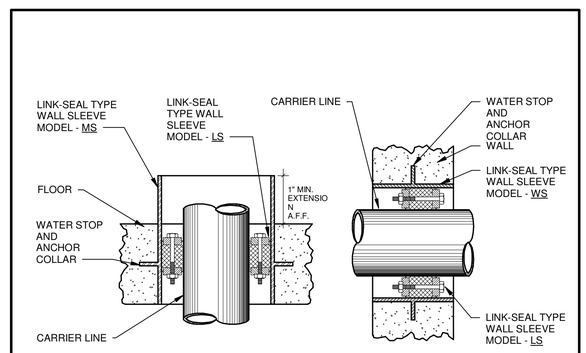
SCALE: NONE

NOTE: WATER HEATER MUST BE SIDE-CONNECT MODEL



2 PIPING HANGER DETAIL

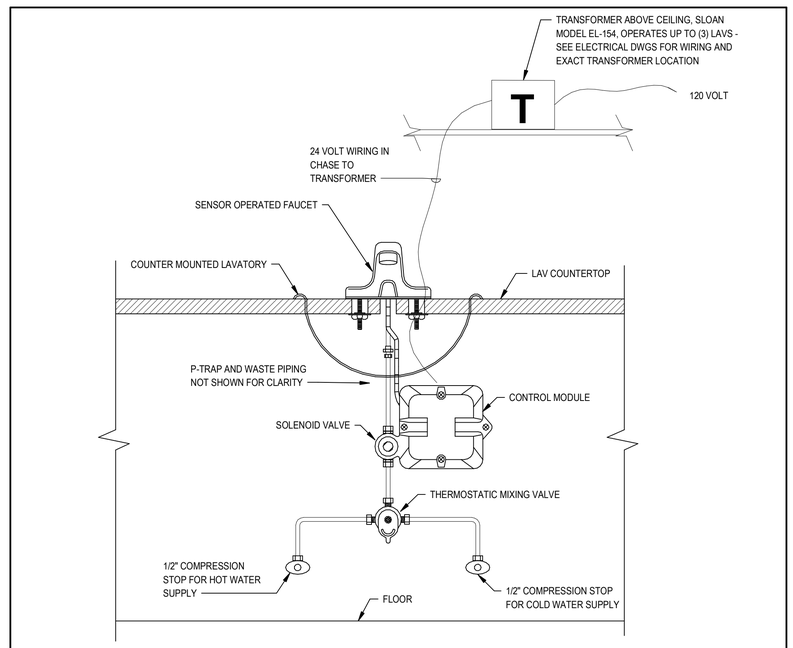
SCALE: NONE



4 WATERPROOF SLEEVE DETAIL

SCALE: NONE

(TYPICAL FOR ALL MAIN WATER AND FIRE PIPE PENETRATIONS THROUGH GROUND FLOOR SLABS AND WALLS THAT ARE BELOW GRADE)



6 SECTION AT LAVATORY COUNTER AND SENSOR OPERATED FAUCET - TYPICAL

SCALE: N.T.S.

NOTE: 1. WALL MOUNTED LAVATORY CONNECTION SIMILAR.

2. AT COUNTER LAVS - COORDINATE WITH ARCHITECTURAL MILLWORK FOR ACCESS PANEL TO EQUIPMENT BELOW COUNTER.

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PLUMBING DETAILS

P2.01

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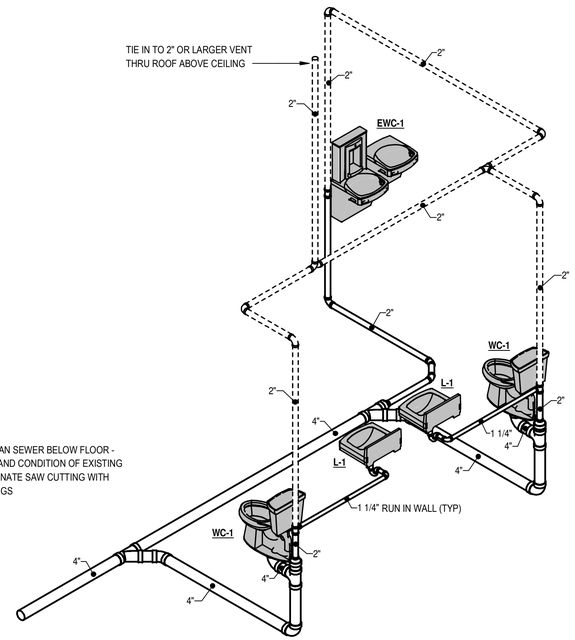

R 1 WASTE & VENT RISER

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310 ARKANSAS AVE RENOVATION
UNIVERSITY OF ARKANSAS

310 Arkansas Avenue
Fayetteville, AR 72701

REVISIONS:

PROJECT NO.
21085
DATE:
June 14, 2022

PLUMBING RISERS

P3.01

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6/14/2022 10:42:50 AM

FIRE PROTECTION LEGEND

SYMBOL	DESCRIPTION
—SP—	FIRE SPRINKLER PIPING
—DSP—	DRY PIPE FIRE SPRINKLER PIPING
—F—	FIRE PROTECTION WATER SUPPLY
	BRASS SPRINKLER HEAD (UPRIGHT OR PENDANT AS REQ'D)
	RECESSED PENDANT SPRINKLER HEAD IN CEILING
	EXTRA LARGE ORIFICE TYPE SPRINKLER HEAD
	DRY PENDENT ON DROP SPRINKLER HEAD
	CONCEALED TYPE SPRINKLER HEAD
	HORIZONTAL SIDEWALL SPRINKLER HEAD
	EXISTING SPRINKLER HEAD
S	SUPERVISED INDICATING TYPE VALVE (O.S.&Y)
F	FLOW SWITCH
	RECESSED FIRE HOSE CABINET
	RECESSED FIRE EXTINGUISHER CABINET
F.E.	FIRE EXTINGUISHER
F.H.C.	FIRE HOSE CABINET
O.S.&Y.	OUTSIDE SCREW & YOKE
F.E.C.	FIRE EXTINGUISHER CABINET
	FIRE HYDRANT
	FIRE DEPARTMENT CONNECTION

AUTO FIRE SPRINKLER LEGEND

(THIS LEGEND FOR ALL SHEETS)

SINGLE CROSSHATCHING DENOTES BOUNDARIES OF AREAS THAT REQUIRE AUTOMATIC FIRE SPRINKLER SYSTEM.

DOUBLE CROSSHATCHING DENOTES BOUNDARIES OF AREAS THAT REQUIRE AUTOMATIC FIRE SPRINKLER SYSTEM, BUT WITH NOTED EXCEPTION, AND OR, ADDITION.

FIRE PROTECTION GENERAL NOTES

1. THE BUILDING RENOVATION SHALL BE COMPLETELY SPRINKLED. SEE HVAC AND ELECTRICAL DRAWINGS FOR GRILLES, LIGHTS ETC. AND COORDINATE SPRINKLER HEAD LOCATION AS REQUIRED. THESE SYSTEMS SHALL BE HYDRAULICALLY DESIGNED TO MEET NFPA 13, STATE, AND LOCAL CODES. IN FINISHED AREAS LOCATE SPRINKLER HEADS IN CENTER OF LAY-IN TILE CEILING AND LOCATE SYMMETRICALLY IN ROOMS AN SPACES AS FAR AS PRACTICAL.
2. PROVIDE SPRINKLER HEADS AT TOP AND BOTTOM FLOORS OF ALL LARGE MECHANICAL CHASES (AS REQUIRED BY CODE).
3. SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS OF FIRE EXTINGUISHER CABINETS, ETC.
4. COORDINATE FIRE SPRINKLER ZONING WITH ELECTRICAL DRAWINGS AND FIRE ALARM SYSTEM.
5. ALL VALVES MUST BE ACCESSIBLE, IF INSTALLED ABOVE A FIXED CEILING, ACCESS DOORS SHALL BE INSTALLED.
6. ALL SPRINKLER BRANCHES DOWNSTREAM OF AN ALARM SHALL HAVE A 1" MINIMUM TEST DRAIN LINE WITH EASILY ACCESSIBLE VALVE. DISCHARGE DRAIN TO AN APPROPRIATE LOCATION, THRU OUTSIDE WALL IF POSSIBLE, OR TO A LARGE FLOOR DRAIN IN A MECHANICAL ROOM, ETC.
7. ALL SPRINKLER PIPING SHALL SLOPE TO LOW POINTS WITH VALVES FOR DRAINING.
8. ALL SPRINKLER HEADS SHALL BE QUICK RESPONSE TYPE, EXCEPT IN SPECIAL AREAS.
9. SPRINKLER HEADS SHALL BE LOCATED 15' (OR LESS) ON CENTER - EXTENDED COVERAGE HEADS NOT ACCEPTABLE.
10. PROVIDE SYSTEM TO NFPA 13 COVERAGE AND OCCUPANCY REQUIREMENTS.
11. WATER SUPPLY - FIELD VERIFY EXISTING CONDITIONS.
12. INTERFACE SYSTEM WITH BUILDING FIRE AND SMOKE ALARM SYSTEM.
13. VERIFY THAT THE EXISTING FIRE DEPARTMENT CONNECTION IS ACCEPTABLE AS IS EVEN AFTER THIS SPRINKLER ADDITION IS CONNECTED.
14. ALL PIPING TO BE SCHEDULE 40 STEEL.
15. ALL EXPOSED SPRINKLER PIPING SHALL BE PAINTED - CLEAN, PRIME, AND PAINT WITH (2) COATS EPOXY PAINT (COLOR AS SELECTED BY ARCHITECT) FIRE CONTRACTOR SHALL COORDINATE WITH GENERAL CONTRACTOR.
16. ALL SPRINKLER HEADS IN LAY-IN CEILING SHALL HAVE FLEXIBLE DROPS TO COMPLY WITH APPLICABLE SEISMIC DESIGN CATEGORY - FLEXIBLE SPRINKLER HEADS MUST BE "FLEXHEAD INDUSTRIES." (NO SUBSTITUTIONS)
17. ALL SPRINKLER HEADS MUST BE CENTERED IN CEILING TILES OF LAY-IN CEILINGS.

FIRE PROTECTION NOTES

A COMPLETE AUTOMATIC FIRE PROTECTION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 13 AS A WET SPRINKLER SYSTEM. BACKFLOW PROTECTION SHALL BE PROVIDED AS REQUIRED BY ARKANSAS DEPARTMENT OF HEALTH.

FIRE SPRINKLER DESIGN NOTES

ESTIMATED AREA/DENSITY DEMANDS PLUS HOSE WATER

LIGHT HAZARD - .10 GPM x 1500 SQ. FT. x OVERAGE + 100 GPM HOSE WATER = 272.5 GPM.

ORDINARY HAZARD (GROUP 1) - 0.15 GPM x 1500 SQ. FT. x OVERAGE + 250 GPM HOSE WATER = 509.0 GPM.

ORDINARY HAZARD (GROUP 2) - 0.25 GPM x 1500 SQ. FT. x OVERAGE + 250 GPM HOSEWATER = 595.0 GPM.

NOTE: REDUCTION AREA ADJUSTMENTS FOR QUICK RESPONSE SPRINKLER HEADS AS NOTED IN NFPA 13 WILL BE ALLOWED.

THE CONTRACTOR MUST VERIFY AND COORDINATE EXACT DESIGN REQUIREMENTS.

FIRE FLOW TEST - VERIFY IF REQUIRED

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FIRE PROTECTION GENERAL NOTES AND LEGENDS

FP0.00

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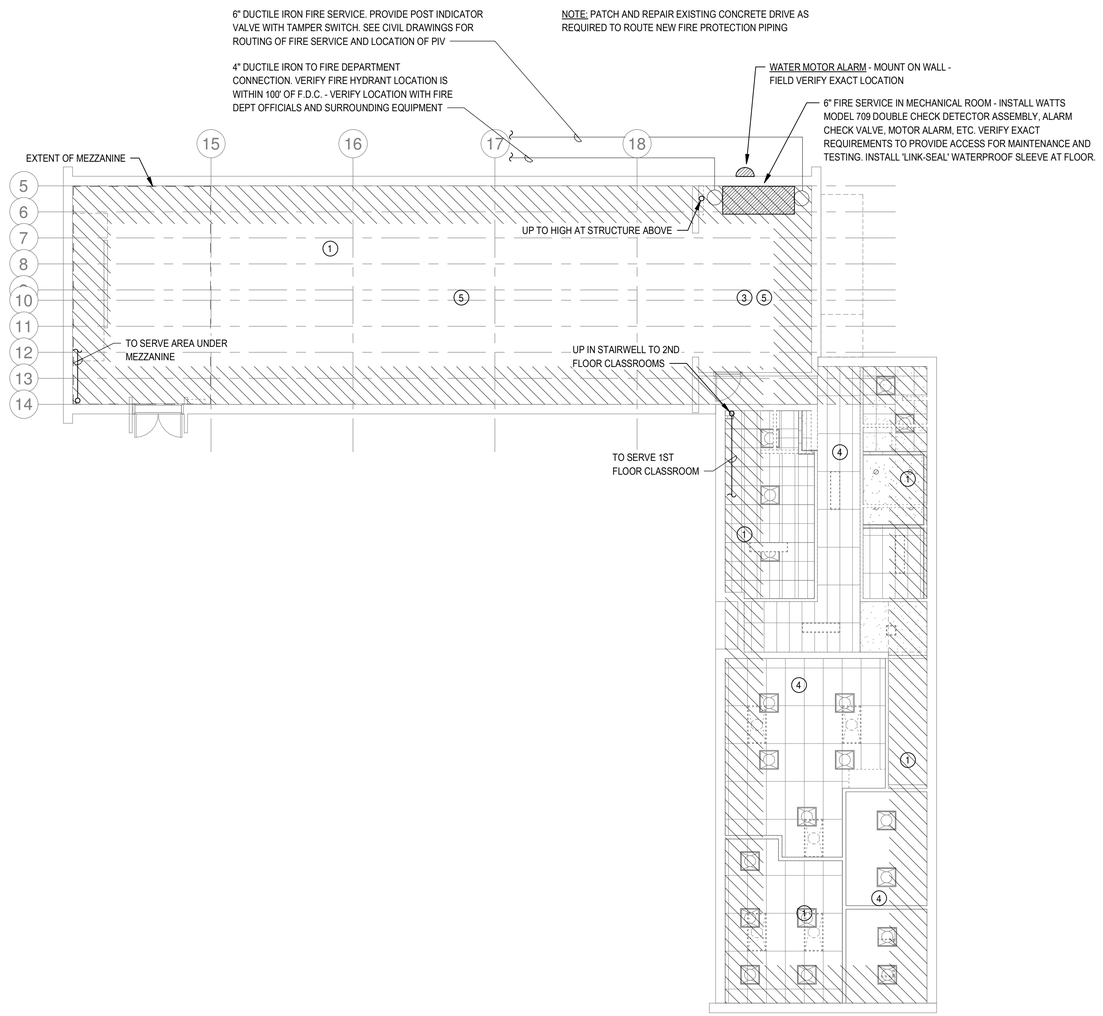

NORTH

1 1st Floor RCP - Fire Protection
1/8" = 1'-0"

FIRE PROTECTION KEYED NOTES

1. THESE DESIGNATED AREAS SHALL BE PROVIDED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM OF STANDARD WET TYPE. SEE GENERAL FIRE PROTECTION NOTES AND OTHER KEYED NOTES FOR SPECIAL AREA REQUIREMENTS.
2. FIRE SPRINKLER HEADS AROUND ELECTRICAL PANELS (SEE ARCHITECTURAL AND ELECTRICAL DRAWINGS FOR EXACT LOCATIONS) SHALL HAVE DEFLECTOR SHIELDS TO AVOID DIRECT WATER SPRAY ON EQUIPMENT.
3. IN MECHANICAL AND ELECTRICAL ROOMS (ESPECIALLY ROOMS WITHOUT CEILINGS) COORDINATE CAREFULLY THE EXACT LOCATIONS OF HEADS. REVIEW MECHANICAL AND ELECTRICAL DRAWINGS TO ENSURE THAT HEADS ARE NOT INSTALLED DIRECTLY ABOVE DUCTWORK, EQUIPMENT, ETC.
4. SPRINKLERS IN LAY-IN AND GYP BD CEILINGS TO BE CONCEALED SPRINKLER HEADS. COLOR AS SELECTED BY ARCHITECT.
5. SPRINKLERS IN AREAS WITH NO CEILING TO BE UPRIGHT SPRINKLER HEADS.

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FLOOR PLAN - FIRE PROTECTION

FP1.01

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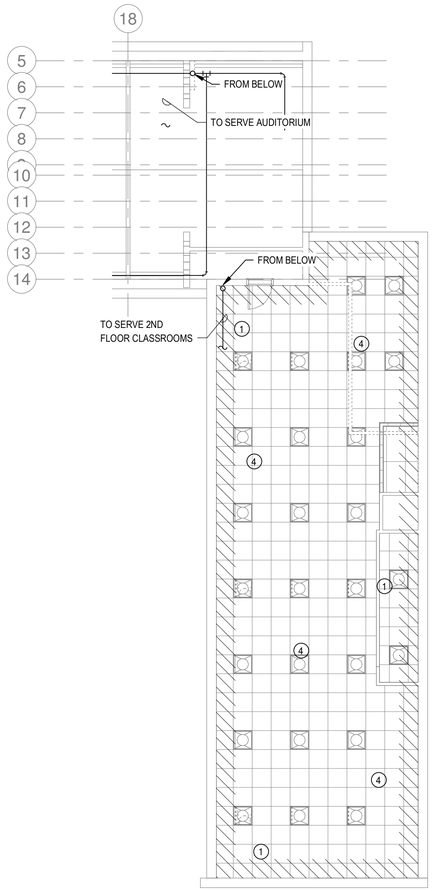
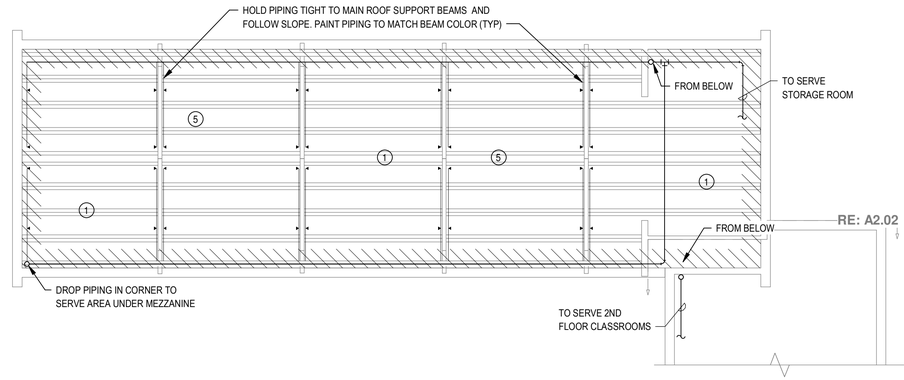


NORTH

2 2nd Floor RCP - Fire Protection
1/8" = 1'-0"

FIRE PROTECTION KEYED NOTES

1. THESE DESIGNATED AREAS SHALL BE PROVIDED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM OF STANDARD WET TYPE. SEE GENERAL FIRE PROTECTION NOTES AND OTHER KEYED NOTES FOR SPECIAL AREA REQUIREMENTS.
2. FIRE SPRINKLER HEADS AROUND ELECTRICAL PANELS (SEE ARCHITECTURAL AND ELECTRICAL DRAWINGS FOR EXACT LOCATIONS) SHALL HAVE DEFLECTOR SHIELDS TO AVOID DIRECT WATER SPRAY ON EQUIPMENT.
3. IN MECHANICAL AND ELECTRICAL ROOMS (ESPECIALLY ROOMS WITHOUT CEILINGS) COORDINATE CAREFULLY THE EXACT LOCATIONS OF HEADS. REVIEW MECHANICAL AND ELECTRICAL DRAWINGS TO ENSURE THAT HEADS ARE NOT INSTALLED DIRECTLY ABOVE DUCTWORK, EQUIPMENT, ETC.
4. SPRINKLERS IN LAY-IN AND GYP BD CEILINGS TO BE CONCEALED SPRINKLER HEADS. COLOR AS SELECTED BY ARCHITECT.
5. SPRINKLERS IN AREAS WITH NO CEILING TO BE UPRIGHT SPRINKLER HEADS.



NORTH

1 Mezzanine Floor Plan RCP - Fire Protection
1/8" = 1'-0"

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FLOOR PLAN - FIRE PROTECTION

FP1.02

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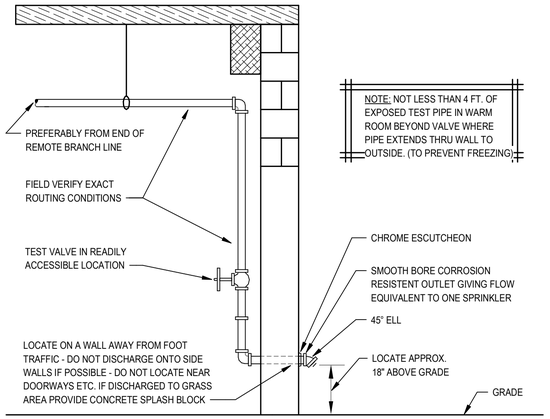
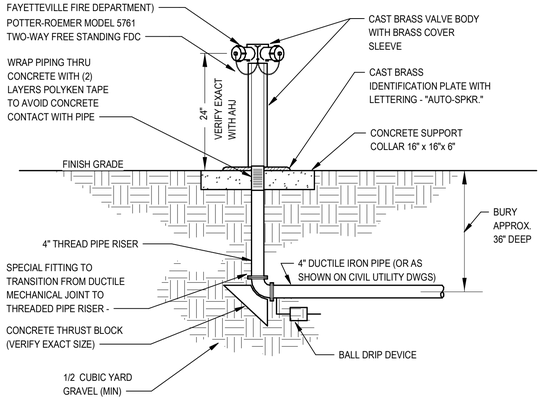


① FIRE SPRINKLER TEST DRAIN DETAIL
SCALE: NONE



③ FIRE DEPARTMENT CONNECTION DETAIL
SCALE: NONE

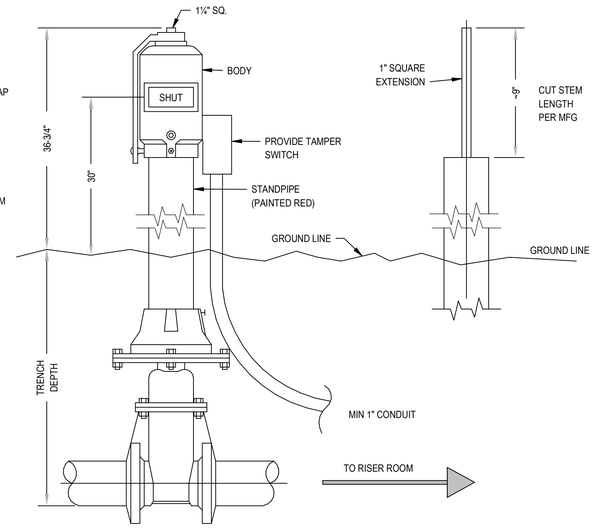
POST INDICATOR VALVE (PIV) NOTES:

1. CUT AND ADJUST THE LENGTH OF THE EXTENSION SO THAT THE CAP IS APPROPRIATELY LOCATED ABOVE FINISHED GRADE. FOLLOW MFG CRITERIA.

2. SET THE "OPEN" AND "SHUT" TARGETS FOR THE APPROPRIATE VALVE SIZE.

3. PIV SHALL BE INSTALLED WITH AN ELECTRONICALLY CONTROLLED TAMPER SWITCH. INSTALL MINIMUM 1" CPVC CONDUIT TO RISER ROOM WITH PULL STRING.

4. POST INDICATOR VALVE SHALL BE LOCATED AT A MINIMUM 40 FEET FROM BUILDING UNLESS APPROVED OTHERWISE BY LOCAL AHJ.



② POST INDICATOR VALVE DETAIL
SCALE: NONE

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FIRE PROTECTION DETAILS

FP2.01

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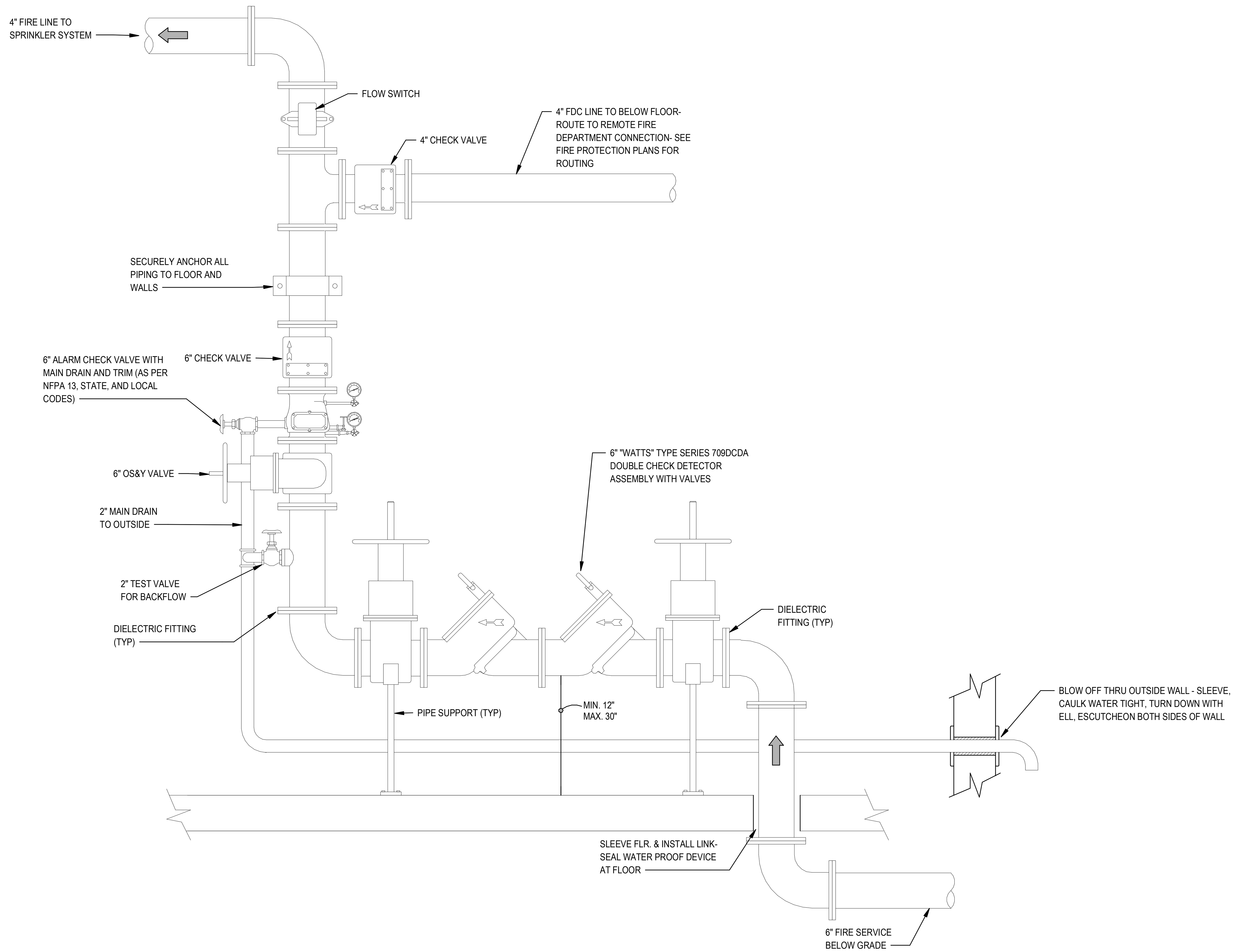

1 DOUBLE CHECK DECTECTOR ASSEMBLY DETAIL

SCALE: NONE

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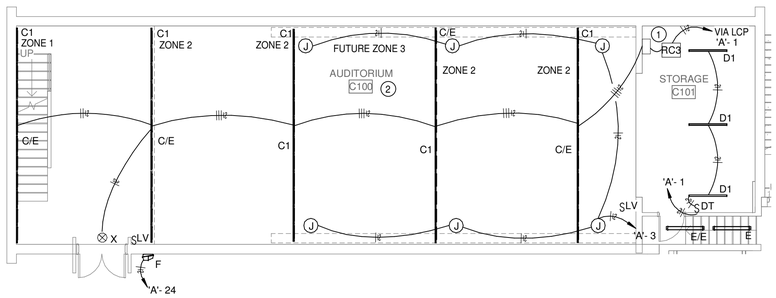
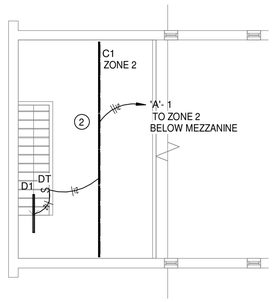
FIRE PROTECTION DETAILS

FP2.02



NORTH

1 AUDITORIUM FLOOR PLAN - LIGHTING
1/8" = 1'-0"



NORTH

2 MEZZANINE FLOOR PLAN - LIGHTING
1/8" = 1'-0"

LIGHTING KEYED NOTES

1. PROVIDE MARK DRIVER BOX AS REQUIRED BY MANUFACTURER.
2. PROVIDE AND INSTALL 0-10V DIMMING WIRING TO THE SPACE.

GENERAL NOTES

1. ALL WORK SHALL COMPLY WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE.
2. CIRCUITS OF DIFFERENT PHASES MAY SHARE EQUIPMENT GROUND. EQUIPMENT GROUND CONDUCTOR SIZE SHALL NOT BE LESS THAN #12 AWG OR AS INDICATED ON THE DRAWINGS.
3. ALL CONDUCTORS #10 AND SMALLER SHALL BE SOLID COPPER THW, THHN, THWN, AND ALL CONDUCTORS #8 AND LARGER SHALL BE STRANDED COPPER USING BOLTED LUGS AT TERMINALS.
4. MINIMUM WIRE SIZE SHALL BE #12 AWG UNLESS OTHERWISE NOTED.
5. PULL ALL THE CONDUCTORS THROUGH RACEWAY AT THE SAME TIME.
6. MINIMUM CONDUIT SIZE SHALL BE 3/4" UNLESS OTHERWISE NOTED. SEE SPECS FOR CONDUIT REQUIREMENTS. ALL CONDUIT SHALL BE CONCEALED UNLESS OTHERWISE NOTED.
7. 6'-0" MAXIMUM LENGTH ON FLEXIBLE CONDUIT.
8. USE COMPRESSION FITTINGS ON CONDUIT, SET SCREW FITTINGS ARE NOT ALLOWED.
9. PROVIDE PULL STRING AND PROTECTIVE BUSHINGS IN ALL SPARE CONDUITS.
10. LABEL ALL CIRCUITS ON PANEL SCHEDULES.
11. TURN ALL UNUSED CIRCUIT BREAKERS TO OFF POSITION.
12. FIRE PROOF ALL PENETRATIONS MADE THROUGH FIRE RATED WALLS.
13. ALL DEVICES SHALL BE RATED 20 AMP MINIMUM, VERIFY COLOR WITH ARCHITECT.
14. CONNECT DEVICES BY WRAPPING WIRE AROUND SCREW TERMINAL IN A CLOCKWISE DIRECTION AND TIGHTEN SCREW, BACK-CONNECTED SPRING DEVICES ARE NOT ALLOWED.
15. ALL BOXES SHALL BE INDEPENDANTLY SUPPORTED TO THE BUILDINGS STRUCTURE.
16. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL ELEVATIONS AND MILLWORK DETAILS FOR EXACT LOCATIONS OF ALL WIRING DEVICES AND LIGHT FIXTURES.
17. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT LOCATION OF ALL LAY-IN LIGHT FIXTURES.
18. THE SPECIFICATIONS ARE AS BINDING ON THE CONTRACTOR AS THE DRAWINGS. THE CONTRACTOR SHALL READ THE SPECIFICATIONS AND SHALL INCLUDE ALL ITEMS REQUIRED BY THE SPECIFICATIONS BEFORE SUBMITTING A BID.
19. ELECTRICAL CONTRACTOR SHALL CLOSELY COORDINATE WITH MECHANICAL AND PLUMBING CONTRACTORS FOR EXACT LOCATION OF HVAC AND PLUMBING EQUIPMENT.
20. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SIZING OF ALL MOTOR OVERLOAD DEVICES (HEATERS) IN STARTERS BASED ON ACTUAL NAMEPLATE RATINGS ON THE MOTOR BEING INSTALLED.
21. PROVIDE TAMPER RESISTANT DEVICES AS REQUIRED BY CODE.
22. CONTRACTOR SHALL ADJUST WIRE SIZE FOR VOLTAGE DROP.

NORTH

3 CLASSROOM WING FIRST FLOOR PLAN - LIGHTING
1/8" = 1'-0"

NORTH

4 CLASSROOM WING SECOND FLOOR PLAN - LIGHTING
1/8" = 1'-0"

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FLOOR PLANS - LIGHTING

E1.01

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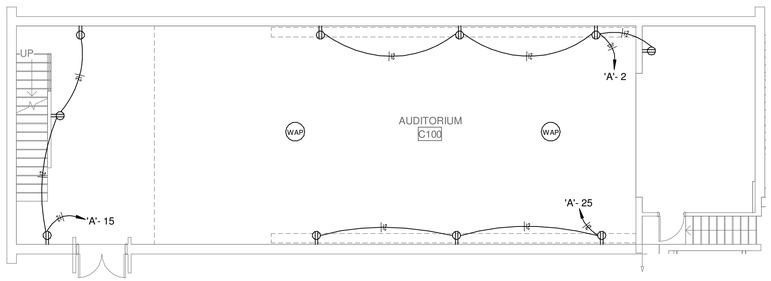
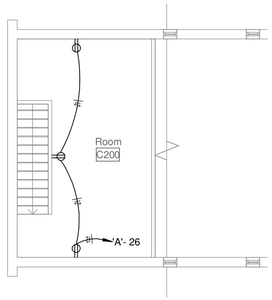


NORTH

1 AUDITORIUM FLOOR PLAN -POWER
1/8" = 1'-0"



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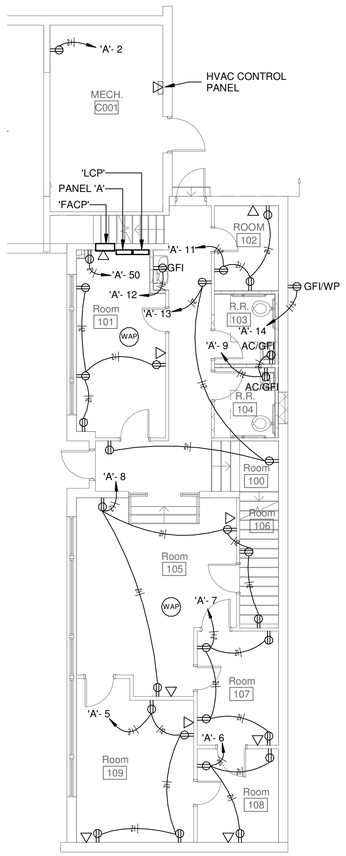
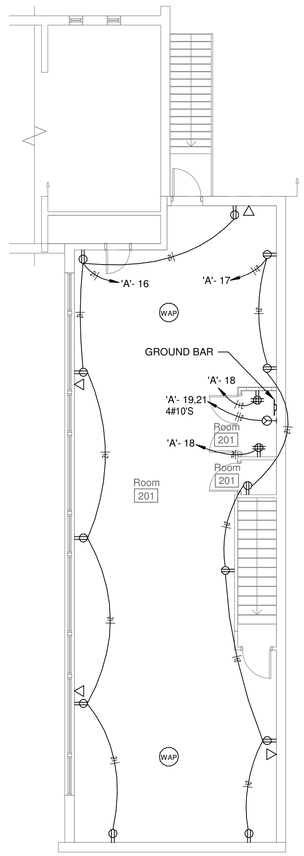
2 MEZZANINE FLOOR PLAN - POWER
1/8" = 1'-0"



NORTH

3 CLASSROOM WING FIRST FLOOR PLAN - POWER
1/8" = 1'-0"



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4 CLASSROOM WING SECOND FLOOR PLAN - POWER
1/8" = 1'-0"

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FLOOR PLANS - POWER

E1.02

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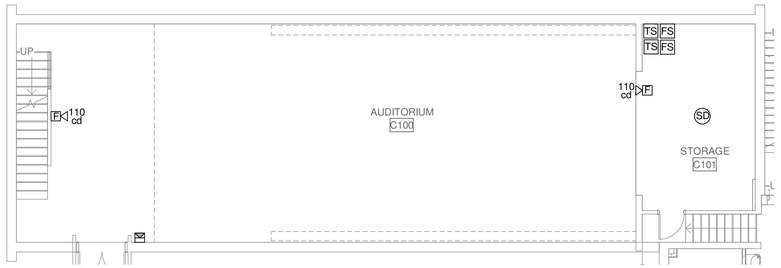
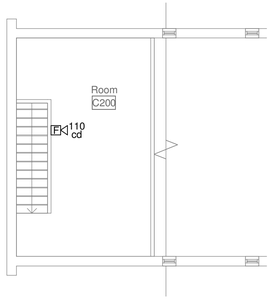


1 AUDITORIUM FLOOR PLAN - SYSTEMS
1/8" = 1'-0"

NORTH

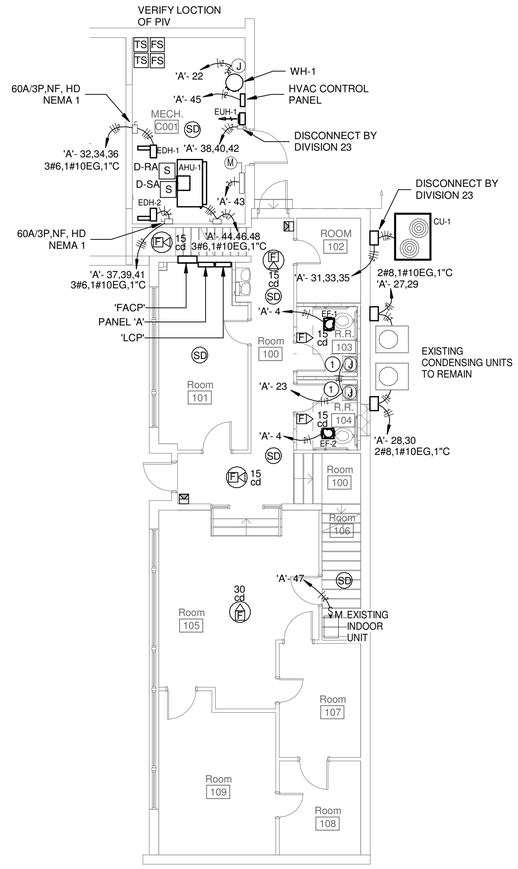


2 MEZZANINE FLOOR PLAN - SYSTEMS
1/8" = 1'-0"

NORTH

ELECTRICAL SYSTEMS KEYED NOTES

1. PROVIDE POWER TO ABOVE CEILING JUNCTION BOX FOR AUTOMATIC FAUCETS. LOW VOLTAGE TRANSFORMER SHALL BE PROVIDED BY PLUMBING CONTRACTOR AND INSTALLED BY ELECTRICAL CONTRACTOR. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR LOW VOLTAGE WIRING AND FINAL CONNECTION AT AUTOMATIC FIXTURES.



3 CLASSROOM WING FIRST FLOOR PLAN - SYSTEMS
1/8" = 1'-0"

NORTH

4 CLASSROOM WING SECOND FLOOR PLAN - SYSTEMS
1/8" = 1'-0"

NORTH

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FLOOR PLANS - SYSTEMS

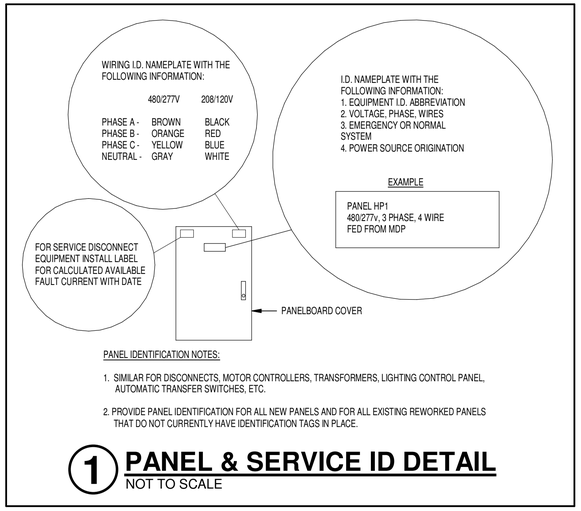
E1.03

SCM ARCHITECTS P.L.L.C.

6/14/2022 11:06:33 AM

LIGHT FIXTURE SCHEDULE

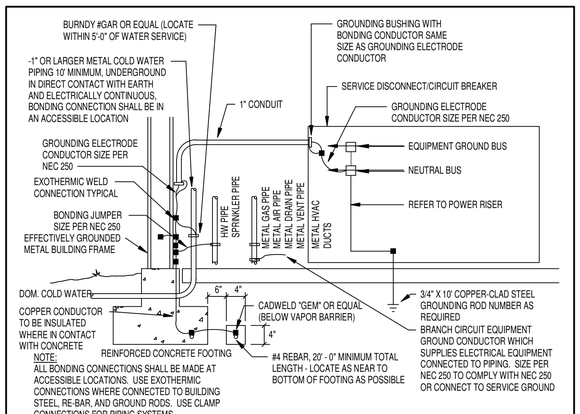
TYPE MARK	MANUFACTURER	MODEL	ELECTRICAL DATA	DESCRIPTION
A	COOPER	CPX 2X2 5000LM 80CRI 40K XXX MIN10 ZT MVOLT	120 V/1-39 VA	2X2 LED FLAT PANEL
A/E	COOPER	CPX 2X2 5000LM 80CRI 40K XXX MIN10 ZT MVOLT-E10WLCP	120 V/1-39 VA	2X2 LED FLAT PANEL - EM BATT
B	ACUITY	LDN6 AL02 SWW1 L06 XX LD MVOLT 90CRI	120 V/1-25 VA	6" DOWNLIGHT
B/E	ACUITY	LDN6 AL02 SWW1 L06 XX LD MVOLT 90CRI E10WCP	120 V/1-25 VA	6" DOWNLIGHT - EM BATT
C1	ACUITY	S1LS LXX 23" FT MSLX 90CRI 40K 1000LMF MINI EGLD MVOLT XXX ZT	120 V/1-19 VA	23' LED DIRECT WALL
C/E	ACUITY	S2LWD 12FT MSL4/MSL8 90CRI 40K 1000LMF MINI EGLD MVOLT XXX ZT	120 V/1-19 VA	SLOT 2 LED DIRECT WALL
D1	ACUITY	ZL1N L48 3000LM FST MVOLT 40K 90CRI XXX XX	120 V/1-25 VA	4' STRIP LIGHT
D2	ACUITY	ZL1N L24 3000LM FST MVOLT 40K 90CRI XXX XX	120 V/1-0 VA	2' STRIPLIGHT
E	ACUITY	WL4 20L MVOLT LF840	120 V/1-0 VA	WALL BRACKET AND SURFACE MOUNT LED
E/E	ACUITY	WL4 20L MVOLT LF840 - NL - EM	120 V/1-0 VA	WALL BRACKET AND SURFACE MOUNT LED - EM BATT
F	BEGA	TBD	120 V/1-30 VA	EXTERIOR WALL PACK - EM BATT
X	ACUITY	EDG-X-1-R	120 V/1-3 VA	LED CEILING MOUNTED EXIT LIGHT.



PANEL IDENTIFICATION NOTES:

1. SIMILAR FOR DISCONNECTS, MOTOR CONTROLLERS, TRANSFORMERS, LIGHTING CONTROL PANEL, AUTOMATIC TRANSFER SWITCHES, ETC.
2. PROVIDE PANEL IDENTIFICATION FOR ALL NEW PANELS AND FOR ALL EXISTING REWORKED PANELS THAT DO NOT CURRENTLY HAVE IDENTIFICATION TAGS IN PLACE.

1 PANEL & SERVICE ID DETAIL
NOT TO SCALE



NOTE:
ALL BONDING CONNECTIONS SHALL BE MADE AT ACCESSIBLE LOCATIONS. USE EXOTHERMIC CONNECTIONS WHERE CONNECTED TO BUILDING STEEL, RE-BAR, AND GROUND RODS. USE CLAMP CONNECTIONS FOR PIPING SYSTEMS.

2 SERVICE GROUNDING DETAIL
NOT TO SCALE

Panelboard: 'A'

LOCATION:	Room 101	**VOLTAGE:**	120/208 Wye	**COPPER BUS RATING:** 400 A	**MAINS TYPE:** MLO
MOUNTING:	Recessed	**PHASE:**	3	**GROUND BUS:**	**MCB RATING:**
ENCLOSURE:	Type 1	**WIRES:**	4	**MINIMUM A.I.C. RATING:**	**FED FROM:**
		MFR. AND TYPE:	SQUARE D NQ	**SUBFEED LUGS:**	**NEUTRAL RATING:**

Circuit Number	Load Name	BRKR	A		B		C		BRKR	Load Name	Circuit Number
1	LIGHTING - AUDITORIUM	20A/1P	1514	720					20A/1P	RECEPT - AUDITORIUM C100	2
3	FUTURE LIGHTING - AUDITORUM	20A/1P			1200	1481			20A/1P	LIGHITNG FIRST FLOOR/EF FANS	4
5	RECEPT. - ROOM 109	20A/1P					720	540	20A/1P	RECEPT. - ROOM 108	6
7	RECEOPT. - ROOM 107	20A/1P	720	900					20A/1P	RECEPT. - ROOM 105 & 106	8
9	RECEPT. - ROOM 100, RR 103 & 104	20A/1P			360	720			20A/1P	RECEPT. - ROOM 101	10
11	RECEPT. - 102	20A/1P					540	180	20A/1P	EWC-1	12
13	RECEPT. ROOM 100	20A/1P	540	180					20A/1P	EXTERIOR RECEPT.	14
15	RECEPT. - MEZZ	20A/1P			540	1080			20A/1P	RECEPT. - ROOM 201	16
17	RECEPT. - ROOM 201 & STOR	20A/1P					1080	720	20A/1P	RECEPT. - DATA ROOM	18
19	DATA RACK - VERIFY BREAKER	30A/2P	750	1146					20A/1P	SECOND FLOOR LIGTHING	20
21	--				750	1728			20A/1P	WH-1	22
23	FAUCETS	20A/1P					1000	90	20A/1P	EXTERIIOR WALL PACKS	24
25	RECEPT. - AUDITORIUM C100	20A/1P	540	540					20A/1P	RECEPT. - ROOM C102	26
27	EXISTING EXTERIOR CU UNIT	40A/2P			2715	0			40A/2P	EXISTING EXTERIOR CU UNIT	28
29	--						2715	0		--	30
31	CU-1	15A/3P	1201	5764					60A/3P	EDH-1	32
33	--				1201	5764				--	34
35	--						1201	5764		--	36
37	EDH-2	60A/3P	5764	667					20A/3P	EUH-1	38
39	--				5764	667				--	40
41	--						5764	667		--	42
43	MOTORIZED DAMPER	20A/1P	250	4780					50A/3P	AHU-1	44
45	HVAC CONTROL PANEL	20A/1P			500	4780				--	46
47	EXISTING HVAC - ROOM 106	20A/1P					1500	4780		--	48
49	EXISTING HVAC - MECH 202	20A/1P	1500	500					20A/1P	FACP	50
51											52
53											54
55											56
57											58
59											60
61											62
63											64
65											66
67											68
69											70
71											72
	Total Load:		27936 VA		29227 VA		27261 VA				
	Total Amps:		234 A		244 A		227 A				

Load Classification	Connected Load	Demand Factor	Estimated Demand	Panel Totals	
Lighting	4204 VA	125.00%	5255 VA	**Total Connected Load:**	84422 VA
Receptacles	10620 VA	97.08%	10310 VA	**Total Estimated Demand:**	85455 VA
HVAC	62957 VA	100.00%	62957 VA	**Total Connected Current:**	234 A
Power	2000 VA	100.00%	2000 VA	**Total Est. Demand Current:**	237 A
Other	3478 VA	100.00%	3478 VA		
Motor	0 VA	0.00%	0 VA		
Heating	0 VA	0.00%	0 VA		
Existing Load	0 VA	0.00%	0 VA		

Notes:

SYMBOL LEGEND

	DUPLEX RECEPTACLE AT 18" A.F.F. GFI - GROUND FAULT CIRCUIT INTERUPTER AC - MOUNTED ABOVE COUNTER BC - MOUNTED BELOW COUNTER WP - PROVIDED WITH WEATHERPROOF IN-USE TYPE COVER
	QUADRUPLEX RECEPTACLE
	SPECIAL PURPOSE RECEPTACLE NEMA CONFIGURATION SHOWN ON PLAN
	DUPLEX RECEPTACLE - FLOOR MOUNTED
	QUADRUPLEX RECEPTACLE FLOOR MOUNTED
	DATA OUTLET - SEE DATA RISER
	VOICE OUTLET
	DATA OUTLET - FLOOR MOUNTED
WAP	WIRELESS ACCESS POINT
J	JUNCTION BOX
$	SINGLE POLE TOGGLE SWITCH AT 48" A.F.F. TYPICAL 2 - INDICATES 2-POLE TOGGLE 3 - INDICATES 3-WAY TOGGLE 4 - INDICATES 4-WAY TOGGLE D - DIMMER K - KEY OPERATED LV* - LOW VOLTAGE PUSH BUTTON SWITCH, * = NUMBER OF BUTTONS M - MOTOR RATED TOGGLE OC - DUAL TECHNOLOGY OCCUPANCY SENSOR SWITCH WP - WEATHERPROOF COVER
	BRANCH CIRCUIT HOMERUN HOT-NETURAL-GROUND PANEL AND CIRCUIT NUMBER INDICATED ON PLAN
	PANELBOARD
	DISCONNECT SWITCH
PS	POWER SUPPLY
IAM	INDIVIDUAL ADDRESSABLE MODULE
ZAM	ZONE ADAPTER MODULE
HD	HEAT DETECTOR
SD	SMOKE DETECTOR
	MANUAL PULL STATION
RA	FIRE ALARM REMOTE ANNUNCIATOR
TS	TAMPER SWITCH
FS	WATER FLOW SWITCH
S D - SA	AIR SAMPLING SUPPLY
S D - RA	AIR SAMPLING RETURN
F cd	FIRE ALARM AUDIO/VISUAL APPLIANCE CANDELA RATING AS SHOWN ON PLANS
F cd	FIRE ALARM VISUAL ONLY APPLIANCE CANDELA RATING SHOWN ON PLANS
OC 1	DUAL TECHNOLOGY OCCUPANCY SENSOR CEILING/WALL MOUNTED EQUAL TO *****
OC 2	PIR OCCUPANCY SENSOR CEILING/WALL MOUNTED EQUAL TO *****
RC1	LIGHTING ROOM CONTROLLER SINGLE RECEPT EQUAL TO *****
RC2	LIGHTING ROOM CONTROLLER DUAL RECEPT EQUAL TO *****
RC3	LIGHTING ROOM CONTROLLER TRIPLE RECEPT EQUAL TO *****
PP	OCCUPANCY SENOR POWER PACK EQUAL TO *****

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REVISIONS:

PROJECT NO.
21085
DATE:
June 14, 2022

ELECTRICAL LEGENDS & DETAILS

E2.01

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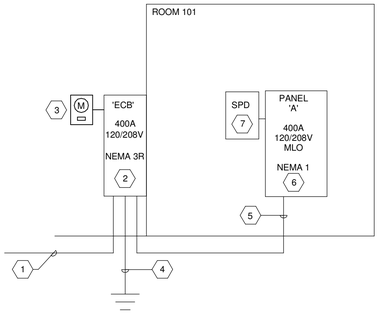
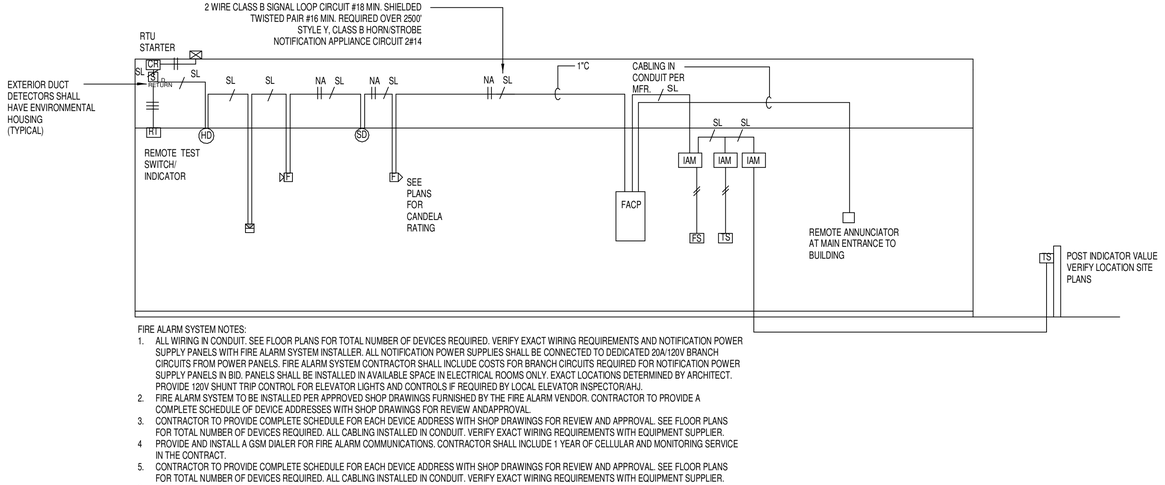


POWER RISER KEYED NOTES:

1. NEW 400A SERVICE. COORDINATE WITH UTILITY.
2. NEW 400A 3R 'ECB'
3. NEW METER PER UTLITY
4. SEE GROUNDING DETAIL
5. NEW 400A FEEDER.
6. NEW 400A PANEL 'A'.
7. PANEL PANEL 'A' SURGE PROTECTOR CURRENT TECH CG 100. CONDUCTORS BETWEEN BREAKER AND SPD SHALL BE KEPT AS SHORT AND STRAIGHT AS POSSIBLE.

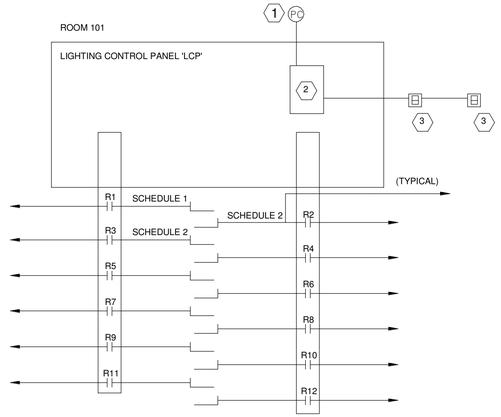
3 POWER RISER DIAGRAM
NOT TO SCALE



FIRE ALARM SYSTEM NOTES:

1. ALL WIRING IN CONDUIT. SEE FLOOR PLANS FOR TOTAL NUMBER OF DEVICES REQUIRED. VERIFY EXACT WIRING REQUIREMENTS AND NOTIFICATION POWER SUPPLY PANELS WITH FIRE ALARM SYSTEM INSTALLER. ALL NOTIFICATION POWER SUPPLIES SHALL BE CONNECTED TO DEDICATED 20A/120V BRANCH CIRCUITS FROM POWER PANELS. FIRE ALARM SYSTEM CONTRACTOR SHALL INCLUDE COSTS FOR BRANCH CIRCUITS REQUIRED FOR NOTIFICATION POWER SUPPLY PANELS IN BID. PANELS SHALL BE INSTALLED IN AVAILABLE SPACE IN ELECTRICAL ROOMS ONLY. EXACT LOCATIONS DETERMINED BY ARCHITECT. PROVIDE 120V SHUNT TRIP CONTROL FOR ELEVATOR LIGHTS AND CONTROLS IF REQUIRED BY LOCAL ELEVATOR INSPECTOR/AHJ.
2. FIRE ALARM SYSTEM TO BE INSTALLED PER APPROVED SHOP DRAWINGS FURNISHED BY THE FIRE ALARM VENDOR. CONTRACTOR TO PROVIDE A COMPLETE SCHEDULE OF DEVICE ADDRESSES WITH SHOP DRAWINGS FOR REVIEW ANDAPPROVAL.
3. CONTRACTOR TO PROVIDE COMPLETE SCHEDULE FOR EACH DEVICE ADDRESS WITH SHOP DRAWINGS FOR REVIEW AND APPROVAL. SEE FLOOR PLANS FOR TOTAL NUMBER OF DEVICES REQUIRED. ALL CABLING INSTALLED IN CONDUIT. VERIFY EXACT WIRING REQUIREMENTS WITH EQUIPMENT SUPPLIER.
4. PROVIDE AND INSTALL A GSM DIALER FOR FIRE ALARM COMMUNICATIONS. CONTRACTOR SHALL INCLUDE 1 YEAR OF CELLULAR AND MONITORING SERVICE IN THE CONTRACT.
5. CONTRACTOR TO PROVIDE COMPLETE SCHEDULE FOR EACH DEVICE ADDRESS WITH SHOP DRAWINGS FOR REVIEW AND APPROVAL. SEE FLOOR PLANS FOR TOTAL NUMBER OF DEVICES REQUIRED. ALL CABLING INSTALLED IN CONDUIT. VERIFY EXACT WIRING REQUIREMENTS WITH EQUIPMENT SUPPLIER.
6. FIRE PROTECTION RISER IS FOR REFERENCE ONLY. VERIFY ALL FLOW/TAMPER SWITCH LOCATIONS AND QUANTITIES

1 FIRE ALARM SYSTEM RISER DIAGRAM
NOT TO SCALE



SYSTEM SHALL BE EQUAL TO GREENGATE LIGHTING CONTROL PANEL MEETING REQUIREMENTS OF ASHRAE 90.1-2007 AND IECC 2009.

1. OUTDOOR PHOTOCELL FOR EXTERIOR WALL PACKS, FIELD LOCATE
2. MASTER PROGRAMMABLE LIGHTING CONTROL RELAY PANEL TO BE EQUAL TO GREENGATE LIGHTING CONTROL PANEL. ALL TIMES/EVENTS, PROGRAMMED AT THIS PANEL.
3. OFF OVERRIDE BY OCCUPANCY SENSOR. ALL OCCUPANCY SENSORS WITHIN THE BUILDING SHALL REPORT STATUS TO LIGHTING CONTROL PANEL.

SCHEDULE PROGRAMMING

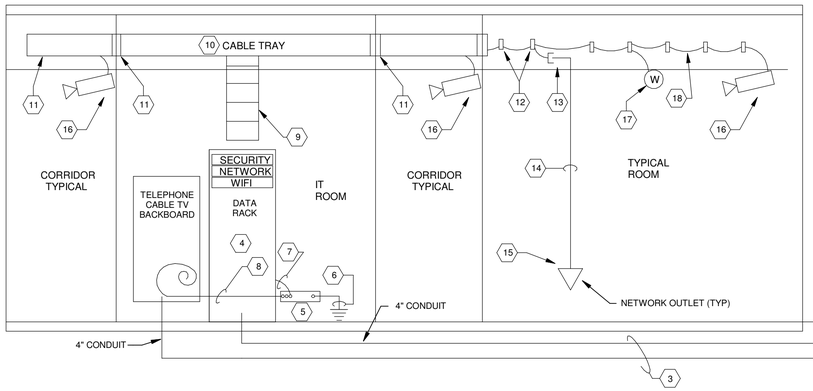
SCHEDULE 1 - PHOTOELECTRIC CELL SYSTEM ON/OFF @ 5FC, TIMECLOCK OFF FOR OWNER DIRECTED DURATION. MASTER OVERRIDE PUSHBUTTON STATION.

SCHEDULE 2 - PER OWNERS DIRECTION. INDOOR AREA

NOTES:

1. LIGHTING CONTROLS SYSTEM SHALL BE PROVIDED AS A COMPLETE AND OPERATIVE SYSTEM. ALL CABLING, MODULES, RELAYS, POWER SUPPLIES, ETC. SHALL BE PROVIDED AS PART OF THE BASE BID.
2. COLOR BY ARCHITECT.
3. DO NOT SWITCH THE HOT TO EMERGENCY BALLASTS

2 LIGHTING RELAY PANEL RISER DIAGRAM
NOT TO SCALE



DATA RISER KEYED NOTES:

1. ONE 4" CONDUIT STUB OUT FOR TELEPHONE AND NETWORK SERVICE. TELEPHONE AND NETWORK STUB OUT SHALL EXTEND TO THE PROPERTY LINE. COORDINATE EXACT STUB OUT LOCATION WITH THE TELEPHONE UTILITY.
2. 48"X48" QUAZITE HANDHOLE FOR TELECOMMUNICATION ENTRANCE.
3. 2EA. 4" CONDUITS FOR TELECOMMUNICATIONS, CABLE TV, AND TELEPHONE SERVICE ENTRANCE.
4. NEW OPEN FRAME TWO POSE DATA RACK WITH HORIZONTAL AND VERTICAL CABLE MANAGEMENT PER ENTERGY STANDARDS.
5. 18"X1/4"X4" COPPER GROUNDING BUS BAR WITH STANDOFF BRACKET.
6. BOND TO BUILDING STRUCTURE AND TO ELECTRICAL SERVICE ENTRANCE GROUND PER BICSI STANDARDS.
7. #6 AWG BONDING JUMPER TO DATA RACKS.
8. SLACK #6 GROUNDING CABLE FOR OWNER GROUNDING.
9. 18" LADDER RACK DROP TO TOP OF EACH DATA RACK.
10. 12" WIDE BASKET STYLE CABLE TRAY EQUAL TO COOPER B-LINE FLEXTRAY WITHIN DATA ROOMS. REFER TO SYSTEMS PLAN FOR ROUTING. PROVIDE WATERFALL FROM CABLE TRAY TO LADDER DROP AT DATA RACK.
11. UL LISTED, FIRE RATED CABLE PENETRATION EQUAL TO WIREMOLD FLAMESTOPPER AT ALL FIRE RATED PARTITIONS.
12. J-HOOKS ALONG WALLS FROM CABLE TRAY TO DEVICE OR DROP. J-HOOKS SHALL BE SPACED NO MORE THAN 60" ON CENTER. CABLES SHALL BE NEATLY BUNDLED BY COLOR ALONG J-HOOKS USING VELCRO CABLE WRAPS.
13. PROVIDE PORTECTIVE BUSHING IN ALL CONDUIT DROPS.
14. 1" EMT MINIMUM CONDUIT DROP DOWN FOR NETWORK CABLING. ADJUST FOR WIRE FILL.
15. TYPICAL 3 CAT6A PER DATA OUTLET, REFER TO PLANS FOR NUMBER AND LOCATION OF DROPS IF QUANTITY DIFFERS. KEYSTONES, JACKS, AND FACEPLATES SHALL BE PER OWNER STANDARDS. VERIFY PRIOR TO INSTALLATION. THIS INCLUDES EXISTING LOCATIONS THAT ARE SHADED ON PLANS.
16. TYPICAL CAMERA LOCATIONS, REFER TO PLANS FOR NUMBER, LOCATIONS, AND MOUNTING. SHOWN FOR REFERENCE. PROVIDE CONDUIT PATHWAY AND BACK BOX. PROVIDE PULL STRINGS IN EACH CONDUITS AND COVERPLATES.
17. TYPICAL OWNER PROVIDED, WIFI ACCESS POINT. TYPICAL (1) CAT6A PER LOCATION. REFER TO PLANS FOR NUMBER AND LOCATIONS.
18. TYPICAL PLENUM RATED CAT6A NETWORK CABLING.

4 DATA RISER DIAGRAM
NOT TO SCALE

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