### **ARCHITECTURAL ABBREVIATIONS**

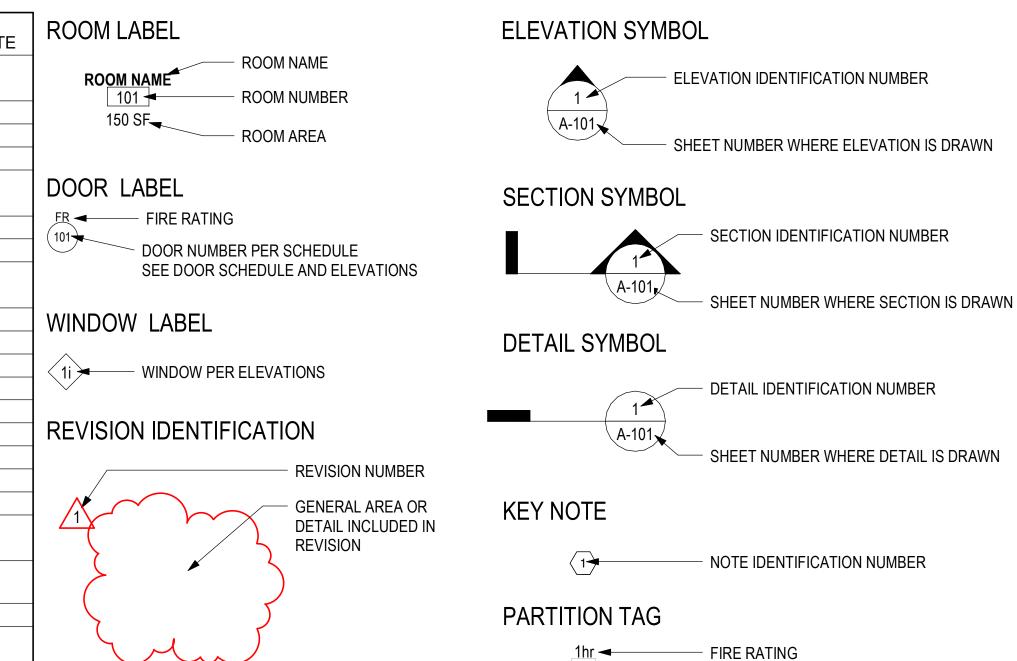
AD	ANOLIOD DOLT	1/0	IZII OODAM
AB	ANCHOR BOLT	KG	KILOGRAM
ACOUST.	ACOUSTICAL	LCB	LIQUID CHALK BOARD
AD	AUXILIARY DRAIN	LM	LINEAL METER
ADJ.	ADJUSTABLE	LG	LONG
ADMIN.	ADMINISTRATION	MAS	MASONRY
A.F.F.	ABOVE FINISH FLOOR	MATL.	MATERIAL
AGGRE.	AGGREGATE	MAX	MAXIMUM
ALUM.	ALUMINUM	MB	MINI-BLINDS
BD	BOARD	M.D.	METAL DECK
B.F.F.	BELOW FINISH FLOOR	MECH.	MECHANICAL
BLKG	BLOCKING	MEMB.	MEMBRANE
BM	BEAM	MEZZ.	MEZZANINE
B.O.	BOTTOM OF	MFR	MANUFACTURER
BPL	BASE PLATE	MISC.	MISCELLANEOUS
BS	BOTH SIDES	MO	MASONRY OPENING
BTWN.	BETWEEN	M.S.	METAL STUD
B.U.R.	BUILT-UP ROOF	MTL.	METAL
CAL.	CALIPER	N.I.C.	NOT IN CONTRACT
CL	CENTERLINE	NS	NON-SHRINK
CFC	COMBINED FACILITIES COMPLEX	N.T.S.	NOT TO SCALE
CSF	COMBINED SHARED FACILITIES	OC	ON CENTER
CG	CORNER GUARD	OD	OUTSIDE DIAMETER
CJ	CONTROL JOINT	OFW	OUTSIDE FACE OF WALL
CLG	CEILING	OPNG	OPENING
CMU	CONCRETE MASONRY UNIT	OPP.	OPPOSITE
COL.	COLUMN	P.LAM	PLASTIC LAMINATE
CONC.	CONCRETE	PL	PLATE
	CONCRETE BLOCK	PLYWD.	PLYWOOD
CONST.	CONSTRUCTION	PNL	PANEL
CONST.	CONTINUOUS		PRODUCE
		PROD	
CT	CERAMIC TILE	KG/SQM	KILOGRAMS PER SQUARE METER
DB	DECK BEARING	KG/SQCM	KILOGRAMS PER SQUARE CENTIMETER
DIM.	DIMENSION	QTY	QUANTITY
DR	DOOR	R	RISER
DTL	DETAIL	R	RADIUS
DWG	DRAWING	RD	ROOF DRAIN
EA	EACH	REFRIG	REFRIGERATION
E.B.	EXPANSION BOLT	REINF	REINFORCING
EF .	EXHAUST FAN	REQD	REQUIRED
E.I.F.S.	EXTERIOR INSULATION AND FINISH SYSTEM	RM	ROOM
EJ	EXPANSION JOINT	RPP	RACK POST PROTECTOR
ELEC.	ELECTRICAL	SC	SOLID CORE
ELEV.	ELEVATION	SCHED.	SCHEDULE
EQ	EQUAL	SECT.	SECTION
EQUIP.	EQUIPMENT	SHT.	SHEET
EW .	EACH WAY	SIM.	SIMILAR
EWC	ELECTRIC WATER COOLER	SPECS	SPECIFICATIONS
EXIST.	EXISTING	SMFE	SURFACE MOUNTED FEC
EXP	EXPANSION	SRFE	SEMI-RECESSED FEC
EXT.	EXTERIOR	S	SEWER
F	FEMALE	SS	SANITARY SEWER
FD	FLOOR DRAIN	S.S.	STAINLESS STEEL
FE	FIRE EXTINGUISHER	SSC	STAINLESS STEEL CLOSURE
FEC	FIRE EXTINGUISHER CABINET	SST	STAINLESS STEEL THRESHOLD
F.F.E.	FINISH FLOOR ELEVATION	STB	STAFF TRAINING BUILDING
FIN.	FINISH	STL	STEEL
FLR	FLOOR	STO.	STORAGE
FND	FOUNDATION FACE OF CONCRETE	STRUCT.	STRUCTURAL
F.O.C.	FACE OF CONCRETE	SYM.	SYMBOL
FRP	FIBERGLASS REINFORCED PANEL	T	TREAD
FTG	FOOTING	T & B	TOP AND BOTTOM
GA	GAGE	THK	THICK
GALV	GALVANIZED	THRESH.	THRESHOLD
GR	GUARD RAIL	TJ	TOOLED JOINT
GP	GUARD POST	TO	TOP OF
GYP	GYPSUM	T.O.S.	TOP OF STEEL
GYP.BD.	GYPSUM BOARD	T.O.S. T.O.P.	TOP OF PANEL
GTP.BD. H			
	HIGH	TS	TUBE STEEL
HD	HANDICAP	TW	TRANSACTION WINDOW
HC	HOLLOW CORE	TYP	TYPICAL
HDW	HARDWARE	T.O.M.	TOP OF MASONRY
HM	HOLLOW METAL	U.N.O.	UNLESS NOTED OTHERWISE
HORIZ.	HORIZONTAL	VCT	VINYL COMPOSITION TILE
HP	HORSEPOWER	VERT.	VERTICAL
HT	HEIGHT	VEST.	VESTIBULE
INFO.	INFORMATION	VLGT. V.I.F.	VERIFY IN FIELD
INFO. INSUL.	INSULATION	V.I.F. W	
			WIDE
INT	INTERIOR	W/	WITH
JAN . <del>-</del>	JANITOR.	WC	WATER CLOSET
JT	JOINT	WD	WOOD
JST	JOIST	WDW	WINDOW
KCJ	KEYED CONTROL JOINT	WG	WALL GUARD
LAV.	LAVATORY	W/O	WITHOUT
		WP	WATERPROOFING
		WT	WEIGHT
		WWF	WELDED WIRE FABRIC

WELDED WIRE FABRIC

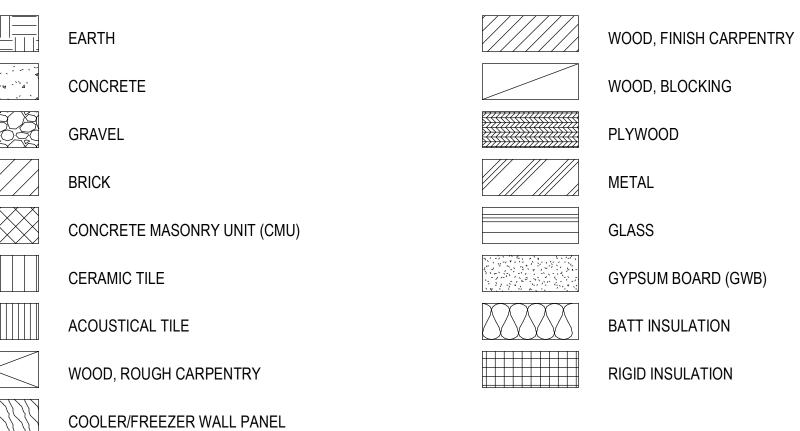
### **INDEX OF DRAWINGS**

SHEET NUMBER	SHEET NAME	Sheet Issue Date	REVISION DATE
	EODMATION		
GENERAL IN G-001	TITLE SHEET	07-17-2024	
G-001 G-002	INDEX, SYMBOLS & ABBREV.	07-17-2024	
G-002 G-003	GENERAL NOTES & DETAILS	07-17-2024	
G-003	GENERAL NOTES & DETAILS	07-17-2024	
LIFE SAFETY			
GI001	LIFE SAFETY CODE ANALYSIS	07-17-2024	
GI101	LIFE SAFETY FLOOR PLAN	07-17-2024	
011/11			
CIVIL VF101	SITE SURVEY	06-20-2024	
C-001	CIVIL NOTES	06-20-2024	
CD101	SITE DEMOLITION PLAN	06-20-2024	
CS101	SITE LAYOUT PLAN	06-20-2024	
CG101	SITE GRADING AND DRAINAGE PLAN	06-20-2024	
CU101	SITE UTILITY PLAN	06-20-2024	
C-501	SITE DETAILS	06-20-2024	
C-502	SITE DETAILS	06-20-2024	
C-503	SITE DETAILS	06-20-2024	
STRUCTURA S-001	STRUCTURAL DESIGN CRITERIA AND GENERAL NOTES	07-17-2024	
S-002	STRUCTURAL GENERAL NOTES CONT'D	07-17-2024	
S-003	COMPONENTS AND CLADDING WIND PRESSURE PLANS	07-17-2024	
S-101	FOUNDATION AND SLAB PLAN	07-17-2024	
S-102	ROOF FRAMING PLAN	07-17-2024	
S-301	TYP FOUNDATION AND SLAB DETAILS	07-17-2024	
S-302	FOUNDATION DETAILS	07-17-2024	
S-303	FOUNDATION DETAILS	07-17-2024	
S-501	TYPICAL ROOF FRAMING DETAILS	07-17-2024	
S-502	TYPICAL ROOF FRAMING DETAILS	07-17-2024	
S-503	TYPICAL LIARDENED BOOM DETAILS	07-17-2024	
S-601	TYPICAL HARDENED ROOM DETAILS	07-17-2024	
ARCHITECTL	JRAI		
A-101	FLOOR PLAN	07-17-2024	
A-102	CANOPY	07-17-2024	
A-201	EXTERIOR ELEVATIONS	07-17-2024	
A-301	SECTIONS	07-17-2024	
A-401	LARGE SCALE PLANS & DETAILS	07-17-2024	
A-402	DETAILS	07-17-2024	
A-403	DETAILS	07-17-2024	
A-404	WINDOW DETAILS	07-17-2024	
A-601	SCHEDULES & DEMOLITION PLAN	07-17-2024	
A-602	ROOM FINISH NOTES AND LEGENDS	07-17-2024	
A-701	MILLWORK DETAILS	07-17-2024	
A-801	PARTITION TYPES AND WALL SECTIONS	07-17-2024	
PLUMBING			
P-001	PLUMBING LEGEND AND NOTES	07-17-2024	
P-101	OVERALL PLUMBING PLAN	07-17-2024	
P-501	PLUMBING DETAILS	07-17-2024	
P-502	PLUMBING DETAILS & RISER	07-17-2024	
P-601	PLUMBING SCHEDULES	07-17-2024	
MECHANICA	T		
M-001	MECHANICAL LEGEND, SYMBOLS, GENERAL	07-17-2024	
N/ 101	NOTES, AND SCHEDULES	07.47.0004	
M-101 M-501	FIRST FLOOR MECHANICAL PLAN MECHANICAL DETAILS	07-17-2024 07-17-2024	
141 00 1	INLOT IT STATEO	01 11-2024	
ELECTRICAL			
E-001	ELECTRICAL LEGEND	07-17-2024	
ES101	ELECTRICAL SITE PLAN	07-17-2024	
EG101	LIGHTNING PROTECTION PLAN	07-17-2024	
EL101	LIGHTING PLAN	07-17-2024	
EP101	POWER PLAN & SINGLE LINE DIAGRAM	07-17-2024	
ET101	SYSTEMS PLAN	07-17-2024	
	ELECTRICAL SCHEDULES	07-17-2024	

### SYMBOLS LEGEND



## **SECTION INDICATIONS**



PARTITION TYPE



AEROJET New Guard Post - 2

CONSTRUCTION DOCUMENTS

Date	Description
p —	
	Date





1. CROMWELL ARCHITECTS ENGINEERS, INC.
ALL RIGHTS RESERVED

2. THIS SHEET DESIGNED FOR COLOR PRINTING.
CRITICAL INFORMATION MAY BE LOST WITH
BLACK AND WHITE PRINTING.

Project Number — 2024-052

Issue Date — 2024-052

INDEX, SYMBOLS & ABBREV.

07-17-2024

Sheet Number —

Sheet Title —

G-002

### **NOTES**

#### **GENERAL CONSTRUCTION REQUIREMENTS:**

- 1. ALL WORK SHALL BE DONE IN A SAFE AND WORKMANLIKE MANNER AND IN STRICT ACCORDANCE WITH THE UFC, GOVERNING BUILDING CODES. NATIONAL ELECTRIC CODE. AND ALL APPLICABLE REGULATIONS AND ORDINANCES HAVING JURISDICTION.
- 2. THE CONTRACTOR IS TO UNDERSTAND ALL DRAWINGS AND SPECIFICATIONS COMPLETELY. EACH ASPECT OF THE WORK MAY BE INDICATED IN ONE DISCIPLINE OR INDICATED IN MULTIPLE DISCIPLINES. REVIEW ALL INFORMATION FROM ALL DISCIPLINES AND COMPLETELY FIELD VERIFY ALL CONDITIONS BEFORE IMPACTING EXISTING CONDITIONS OR PROVIDING NEW WORK.
- 3. EACH SUBCONTRACTOR IS RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF ALL DRAWINGS AND SPECIFICATIONS IN THEIR RELATED FIELD. THE FAILURE TO DO SO DOES NOT RELIEVE ANY RESPONSIBILITY FOR PERFORMING THIS WORK PROPERLY. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED BECAUSE OF CONDITIONS THAT OCCUR DUE TO FAILURE TO FAMILIARIZE WORKERS WITH THIS KNOWLEDGE.
- 4. PRIOR TO COMMENCING WITH THE WORK, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO FABRICATION OF ALL ITEMS, AND IF ANY DISCREPANCIES ARE FOUND BETWEEN WHAT IS SHOWN ON THE PLANS AND WHAT EXISTS IN THE FIELD, CONTACT THE ARCHITECT TO DETERMINE THE PROPER COURSE OF ACTION. THE CONTRACTOR'S APPROVAL FOR FABRICATION INDICATES THE ACCEPTANCE OF EXISTING CONDITIONS.
- 5. THE OWNER SHALL OCCUPY PORTIONS OF THE FACILITY DURING CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER ALL CONSTRUCTION PROCEDURES WHICH WILL INTERFERE WITH THE NORMAL DAILY OPERATIONS OF THE FACILITY. THE CONTRACTOR SHALL OBTAIN PERMISSION FROM THE OWNER FOR ALL INTERRUPTIONS OF UTILITY SERVICES PRIOR TO THE INTERRUPTION ACCIDENTAL INTERRUPTIONS SHALL BE REMEDIED IMMEDIATELY WITH APPROPRIATE FORCES.
- 6. THE FACILITY SHALL BE PROTECTED AT ALL TIMES FROM MOISTURE, DUST AND DEBRIS. INSTALL DUST PARTITIONS AS REQUIRED AND/OR AS SHOWN TO KEEP THE EXISTING PREMISES FREE FROM DUST AND DEBRIS. PROVIDE BARRICADES SEPARATING THE PUBLIC FROM CONSTRUCTION ACTIVITY.
- 7. ANY DAMAGE TO THE OWNER'S PROPERTY OR OWNER'S EMPLOYEES CAUSED BY THE CONSTRUCTION PROCESS SHALL BE REPAIRED/REPLACED AT NO COST TO THE OWNER OR OWNER'S EMPLOYEES.
- 8. THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF THE SECURITY SYSTEM OF THE EXISTING FACILITY AT ALL TIMES. THIS INCLUDES KEEPING THE FACILITY SECURE FROM PERSONS, ENVIRONMENTAL ELEMENTS, OR HAZARDS. THE CONTRACTOR SHALL OBTAIN PERMISSION FROM THE OWNER PRIOR TO THE MODIFICATION OF ANY SECURITY SYSTEM OR THE DISABLING OF SUCH.
- 9. THE CONTRACTOR SHALL KEEP THE CONSTRUCTION AREA FREE AND CLEAR OF DEBRIS. REMOVE TRASH AND DEBRIS FROM CONSTRUCTION AREA AND DO NOT ALLOW TO ACCUMULATE. NO FLAMMABLE MATERIALS/LIQUIDS MAY BE STORED IN THE BUILDING DURING CONSTRUCTION. PROVIDE EXTINGUISHERS AS REQUIRED BY LOCAL AND STATE AUTHORITIES, UL LISTED 2A:20BC DRY CHEMICAL FIRE EXTINGUISHERS, ACCESSIBLE AT ALL TIMES WITHIN ALL CONSTRUCTION AREAS.
- 10. THE CONTRACTOR SHALL MAINTAIN THE REQUIRED NUMBER OF EXITS FROM THE FACILITY. MAINTAIN EXITS, EXIT SIGNS AND EMERGENCY LIGHTING AT ALL TIMES AS REQUIRED BY THE GOVERNING AUTHORITIES.
- 11. REMOVE ANY EXISTING ITEMS, SERVICES, FINISHES/OR SURFACES AS REQUIRED FOR THE INSTALLATION OF NEW CONSTRUCTION.
- 12. REPAIR, RE-ROUTE AND EXTEND ALL SERVICES, PIPING, CONDUIT OF EXISTING ITEMS AND EQUIPMENT AS REQUIRED DURING THE CONSTRUCTION PROCESS FOR THE COMPLETE INSTALLATION AND OPERATIONS OF NEW EQUIPMENT. THIS INCLUDES ALL ITEMS SHOWN OR NOT SHOWN ON THE DRAWINGS. RESET EXISTING EQUIPMENT OR RELATED ITEMS AS REQUIRED FOR PROPER OPERATION.
- 13. ALL QUESTIONS RELATING TO THE CONSTRUCTION OF THIS PROJECT SHALL BE DONE IN WRITTEN FORM USING THE "REQUEST FOR INFORMATION" FORM, INCLUDED IN THE SPECIFICATIONS, THROUGH THE GENERAL CONTRACTOR ONLY. FOLLOW INSTRUCTIONS WHEN COMPLETING AND SENDING THIS FORM.

#### **GENERAL SITE VERIFICATION REQUIREMENTS:**

- 15. EXISTING CONDITIONS SHOWN IN THESE PLANS ARE BASED ON LIMITED FIELD OBSERVATIONS BY THE ARCHITECT. ALL EXISTING, DIMENSIONS, AND GENERAL CONDITIONS SHALL BE VERIFIED BEFORE PURCHASE OF MATERIAL AND CONSTRUCTION. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN PLANS AND FIELD CONDITIONS IMMEDIATELY.
- 16. ALL UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES (WHETHER SHOWN OR NOT) PRIOR TO THE SUBMISSION OF HIS BID OR THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF THE DISCOVERY OF EXISTING UTILITIES NOT SHOWN OR NOTED ON DRAWINGS. THE CONTRACTOR SHALL VERIFY EXACT LOCATIONS AND DEPTHS OF UNDERGROUND UTILITY SERVICES PRIOR TO ANY EXCAVATION.

#### **GENERAL DEMOLITION REQUIREMENTS:**

REFER TO EXISTING GUARD POST - DEMOLITION NOTES ON A601

- 17. ALL DEMOLITION SHALL BE CARRIED OUT IN A SAFE MANNER AND IN STRICT ACCORDANCE WITH OSHA REGULATIONS.
- 18. THE CONTRACTOR SHALL FIELD VERIFY THE EXTENT OF DEMOLITION. THE WORK INCLUDES, BUT IS NOT LIMITED TO, THE DEMOLITION AND REMOVAL OF WALLS, CEILINGS, ROOFING, DOORS, FIXTURES, PLUMBING, MECHANICAL AND ELECTRICAL ITEMS INCLUDING CONDUITS AND DUCTWORK AS SHOWN ON DRAWING OR AS REQUIRED FOR THE INSTALLATION OF THE NEW WORK FOR A COMPLETE JOB. CONTRACTOR SHALL REPAIR SITE, REFER TO CIVIL DRAWINGS.
- 19. WHEN UTILITIES ARE REMOVED, CAP AND SEAL A MINIMUM OF 8" BELOW FINISH FLOOR.
- 20. THE CONTRACTOR SHALL RETAIN A REGISTERED PROFESSIONAL ENGINEER TO SPECIFY DEMOLITION PROCEDURES. IT IS THE CONTRACTOR'S RESPONSIBILITY FOR MEANS AND METHODS OF DEMOLITION AND NEW CONSTRUCTION.
- 21. DURING DEMOLITION AND CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE OWNER ANY REQUIRED SAFETY BARRIERS OR BARRICADES. PROVIDE BARRICADES SO AS TO PRECLUDE INTRUSION OF PUBLIC INTO CONSTRUCTION AREAS.
- 22. REFER TO THE OWNER APPROVED CONSTRUCTION PHASING SCHEDULE FOR PHASING OF DEMOLITION AND NEW CONSTRUCTION. COORDINATE DEMOLITION WITH NEW CONSTRUCTION IN ORDER THAT THE FACILITY WILL HAVE UNINTERRUPTED WATER, SEWER, ELECTRICAL, GAS AND FIRE PROTECTION SERVICE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING ALL NECESSARY TEMPORARY UTILITY PROVISIONS REQUIRED.
- 23. ALL DEMOLITION MATERIALS NOT SALVAGED BY THE OWNER SHALL BE REMOVED BY THE CONTRACTOR. COORDINATE WITH THE OWNER REGARDING MATERIALS TO BE SALVAGED BY THE OWNER. REFER ALSO TO DRAWINGS AND SPECIFICATIONS FOR SALVAGED ITEMS.
- 24. THE CONTRACTOR SHALL USE A WET SAW FOR SLAB SAWING. NO JACK HAMMERS WILL BE ALLOWED WITHOUT PRIOR APPROVAL FROM THE OWNER.
- 25. PROTECT ALL WATER PIPING AT AREAS OF DEMOLITION AND EXPANSION, WHERE EXISTING PIPING IS SUBJECT TO FREEZING. PROTECT PIPING SO AS NOT TO FREEZE.

#### **GENERAL FLOOR PLAN NOTES:**

- 26. ALL DIMENSIONS ARE TO FACE OF CMU OR STUD UNLESS NOTED OTHERWISE.
- 27. ALL NEW FLOORING SHALL BE PROTECTED FROM SCRATCHING, MARKING, STAINING, ETC. DURING CONSTRUCTION. ANY FLOORING THAT IS DAMAGED BY CONSTRUCTION AND DOES NOT APPEAR IN NEW CONDITION AT THE TIME OF POSSESSION WILL BE REPLACED BY THE GENERAL CONTRACTOR AT HIS EXPENSE. INSTALL TRANSITION STRIP WHERE FLOORING ABUTS EXPOSED CONCRETE FLOOR.
- 28. CLEAN ALL EXISTING HVAC GRILLES WHICH REMAIN, PRIOR TO CONTRACT COMPLETION.



Project

AEROJET New Guard Post - 2

Design Phase —

# CONSTRUCTION DOCUMENTS

Revisio	ons ———	
	Date	Description
1 1		

Stamp





Notes \_

1. CROMWELL ARCHITECTS ENGINEERS, INC. ALL RIGHTS RESERVED

THIS SHEET DESIGNED FOR COLOR PRINTING. CRITICAL INFORMATION MAY BE LOST WITH BLACK AND WHITE PRINTING.

Issue Date —

Sheet Title —

GENERAL NOTES & DETAILS

2024-052

07-17-2024

Sheet Number

G-003

#### APPLICABLE CODES AND STANDARDS

CODE	EDITION	DESCRIPTION
AFPC	2021	ARKANSAS FIRE PREVENTION BUILDING CODE
NFPA 1	2021	FIRE CODE
NFPA 10	2022	STANDARD FOR PORTABLE FIRE EXTINGUISHERS
NFPA 13	2019	INSTALLATION OF SPRINKLER SYSTEMS
NFPA 24	2019	STANDARD FOR THE INSTALLATION OF PRIVATE FIRE SERVICE MAINS AND THEIR APPURTENANCES
NFPA 25	2020	STANDARD FOR THE INSPECTION, TESTING, AND MAINTENANCE OF WATER BASED FIRE PROTECTION SYSTEMS
NFPA 70	2020	NATIONAL ELECTRIC CODE
NFPA 72	2019	NATIONAL FIRE ALARM CODE
NFPA 90A	2021	STANDARD INSTALLATION OF AIR CONDITIONING AND VENTILATION SYSTEMS
NFPA 101	2021	LIFE SAFETY CODE

#### OCCUPANCY CLASSIFICATION

**X**MIXED

☐ SEPARATED 
☐ NON SEPARATED

OCCUPANCY CLASSIFICATION(S): B, U ACCESSORY OCCUPANCIES: N/A

#### CONSTRUCTION CLASSIFICATION: IIB

#### **HEIGHT AND AREA - ACTUAL**

BUILDING HEIGHT	HEIGHT IN FEET 12' - 2"	HEIGHT IN STORIES	
BUILDING AREA	439.0	00 SF	

#### HEIGHT AND AREA- ALLOWABLE

			R AREA 506.2)	TABULAR HEIGHT (TABLE 504.3-4)		
OCCUPANCY CLASSIFICATION	TYPE OF CONSTRUCTION	AREA FACTOR	AREA	AREA FACTOR	FEET	STORIES
В	IIB	NS	23000	NS	55	3
U	IIB	NS	8500	NS	55	2

☐ YES 
☒ NO UNLIMITED AREA QUALIFY FOR FRONTAGE INCREASE? FRONTAGE INCREASE FACTOR (TABLE 506.3.3): 0.75

ALLOWABLE AREA  $A_A = [A_T + (NS X I_F)]$ (506.2)

14875 = 8500 + ( 8500 X 0.75 ) ]

ALLOWABLE **TABULAR** TABULAR ALLOWABLE ALLOWABLE AREA INCREASE DUE AREA AREA FACTOR FACTOR FOR NS TO FRONTAGE

#### INTERIOR FINISH REQUIREMENTS

	EXITS	EXIT ACCESS CORRIDORS	OTHER SPACES
WALL & CEILING FINISH	Α	В	С
FLOOR COVERINGS	II	II	II

(TABLE 803.13)

#### **INCIDENTAL USES**

- ☐ FURNACE ROOM
- ☐ ROOMS WITH BOILERS ☐ REFRIGERANT MACHINERY ROOM
- ☐ HYDROGEN FUEL GAS ROOMS
- ☐ INCINERATOR ROOMS ☐ PAINT SHOPS IN OTHER THAN F
- ☐ GROUP E LABORATORIES AND VOCATIONAL
- SHOPS ☐ GROUP I-2 LABORATORIES
- ☐ AMBULATORY CARE FACILITIES
- LABORATORIES
- ☐ LAUNDRY ROOMS OVER 100 SQFT
- ☐ GROUP I-2 LAUNDRY ROOMS OVER 100 SQFT
- ☐ GROUP I-3 CELLS AND GROUP I-2 PATIENT
- ROOMS ☐ GROUP I-2 PHYSICAL PLANT MAINTENANCE
- SHOPS
- ☐ AMBULATORY CARE FACILITIES OR GROUP I-2 WASTE AND LINEN COLLECTION ROOM WITH AGGREGATE VOLUME OF 10CF
- ☐ OTHER THAN AMBULATORY AND GROUP I-2 WASTE AND LINEN COLLECTION ROOMS OVER 100 SQFT
- ☐ AMBULATORY CARE FACILITIES OR GROUP
- I-2 STORAGE ROOMS OVER 100 SQFT ☐ ELECTRICAL INSTALLATIONS AND
- TRANSFORMERS

IF APPLICABLE, SEPARATION AND/OR PROTECTION: N/A (TABLE 509.1)



1300 East 6th Street Little Rock, AR 72202 501.372.2900

AEROJET **New Guard** Post - 2

#### FIRE RESISTANCE OF BUILDING ELEMENTS

FIRE PROTECTION SYSTEMS

FIRE PROTECTION SYSTEM

ALTERNATIVE AUTO FIRE EXT

FIRE ALARM AND DETECTION

SMOKE & HEAT REMOVAL

FIRE COMMAND CENTER

FIRE DEPT. CONNECTIONS

GAS DETECTION SYSTEMS

**EMERGENCY RESPONDER FEATURES** 

**EMERGENCY RESP. COMM COVERAGE** 

CARBON MONOXIDE DETECTION

MASS NOTIFICATION SYSTEMS

PORTABLE FIRE EXTINGUISHERS

AUTOMATIC SPRINKLER

**EMERGENCY ALARM** 

SMOKE CONTROL

FIRE PUMPS

STANDPIPE

	REQUIRED	SECTION
STRUCTURAL FRAME	0	601
BEARING WALLS (EXTERIOR)	0	601
BEARING WALLS (INTERIOR)	0	601
NON-BEARING WALLS (EXTERIOR)	0	601
NON-BEARING WALLS (INTERIOR)	0	601
FLOOR CONSTRUCTION	0	601
ROOF CONSTRUCTION	0	601
INTERIOR EXIT STAIRWAYS	N/A	1023
SHAFT ENCLOSURE	N/A	713
CORRIDORS	N/A	1020

#### **MEANS OF EGRESS**

MEANS OF EGRESS ELEMENT	REQUIRED	PROVIDED	SECTION
NUMBER OF EXITS	1	1	1006.3.4
EXIT ACCESS TRAVEL DISTANCE	75 ft	17 ft	1017.2
DEAD-END LIMIT	20 ft	O ft	1020.5
COMMON PATH OF TRAVEL LIMIT	75 ft	17 ft	1006.2.1

TOTAL OCCUPANT LOAD:

EGRESS WIDTH:

0.2" PER PERSON FOR LEVEL COMPONENTS/ 0.3" STAIRS AND RAMPS 44"

MINIMUM CORRIDOR WIDTH:

CLEAR OPENING DOOR WIDTH:

**ILLUMINATION OF EGRESS:** 1 FT-CANDLE AT THE FLOOR AND 0.2 FT-CANDLE FOR A SINGLE LIGHT

FAILURE.

EMERGENCY EGRESS LIGHTING:

EXIT ACCESS AND DISCHARGE ONLY. ACCESS INCLUDES DESIGNATED CORRIDORS, AISLES, AND PASSAGEWAYS. DISCHARGE INCLUDES DESIGNATED DOORS, WALKWAYS, AND RAMPS LEADING

TO A PUBLIC WAY. PERFORMANCE PER NFPA 101 7.9.

REQUIRED PROVIDED SECTION

903

904

905

906

907

908

909

910

911

912

913

914

915

916

917

918

**EXIT MARKING:** 

MARKING OF EXITS AND THE MEANS OF EGRESS SHALL BE PER NFPA 101 7.10

CONSTRUCTION **DOCUMENTS** 

Design Phase

Date Description

Stamp

CROMWELL ARCHITECTS/ **ENGINEERS** 



1. CROMWELL ARCHITECTS ENGINEERS, INC. ALL RIGHTS RESERVED

2. THIS SHEET DESIGNED FOR COLOR PRINTING. CRITICAL INFORMATION MAY BE LOST WITH BLACK AND WHITE PRINTING.

Project Number —

Issue Date

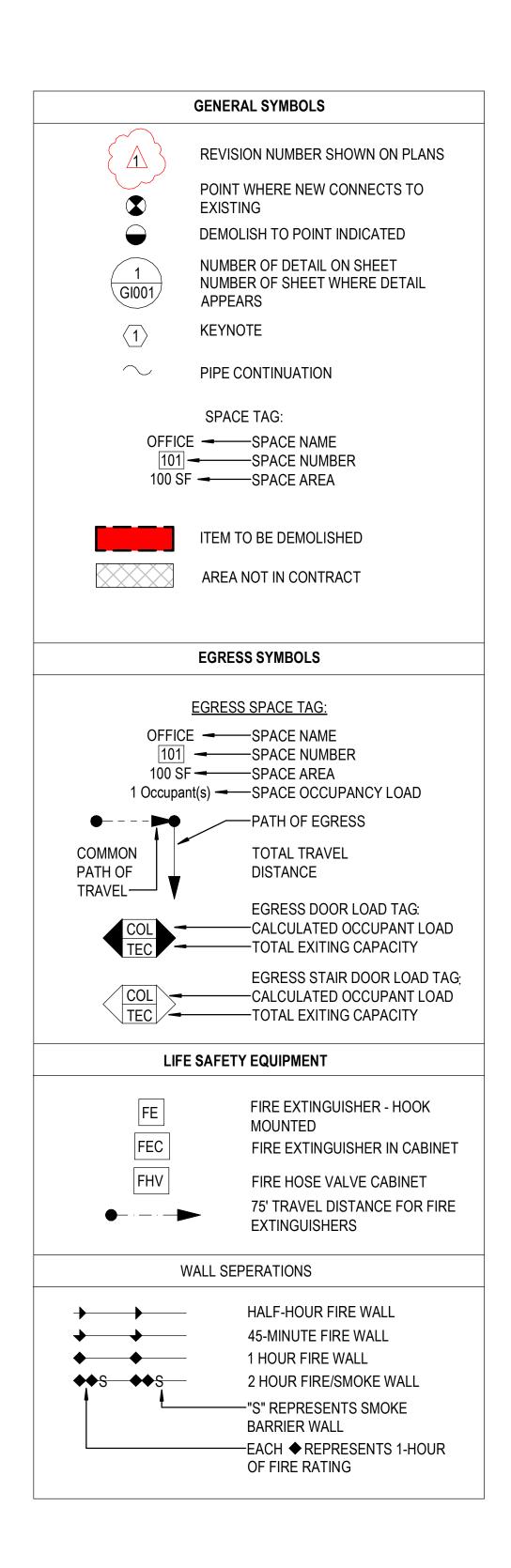
Sheet Title

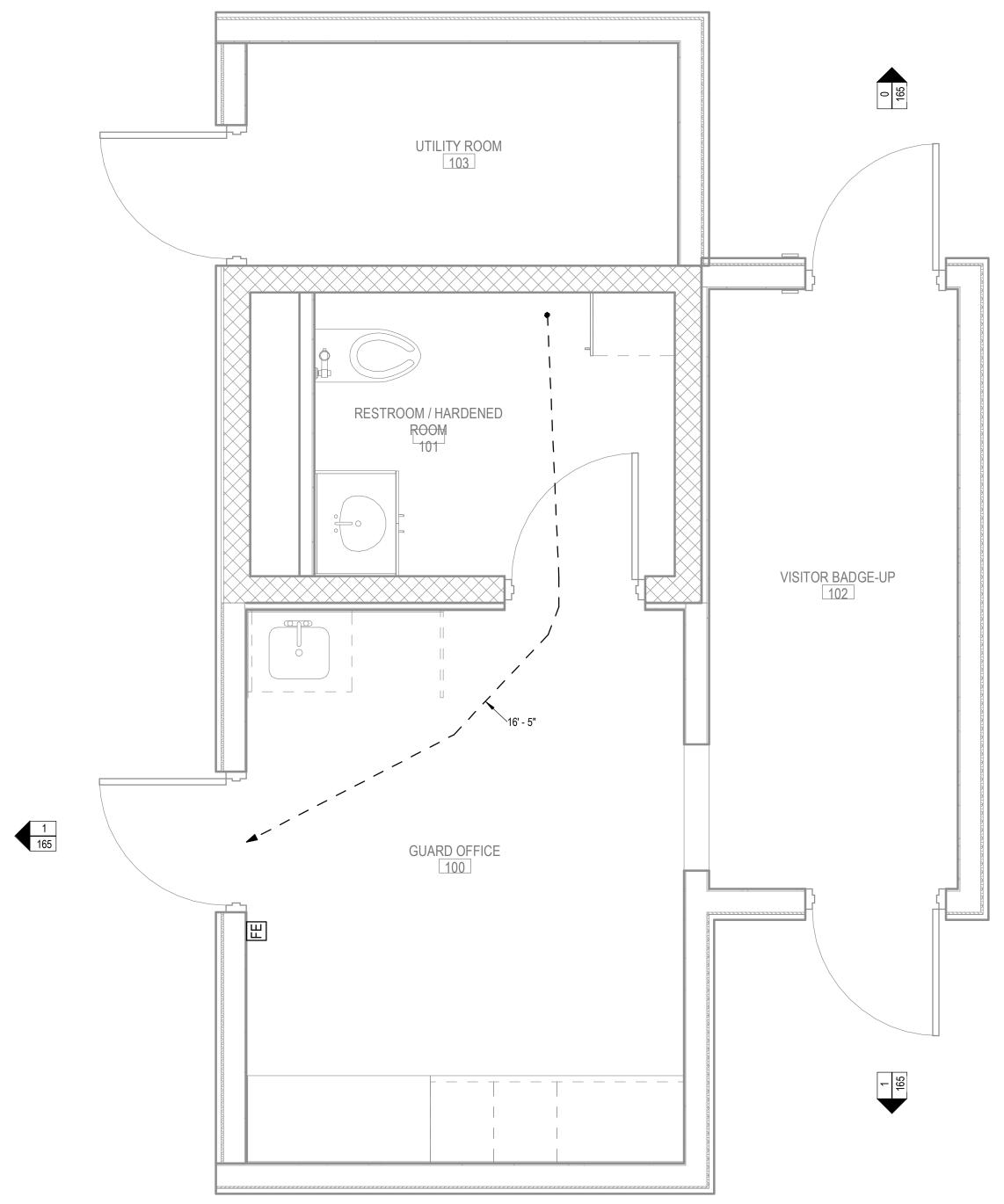
LIFE SAFETY CODE **ANALYSIS** 

2024-052

07-17-2024

Sheet Number





TRAVEL PATH			
FROM ROOM	TO ROOM	<b>EXIT TRAVEL TYPE</b>	LENGTH
RESTROOM / HARDENED ROOM 101 GU	ARD OFFICE 100	COMMON PATH	16' - 5"

LIFE SAFETY SCHEDULE					
NAME	NUMBER	SPACE AREA	AREA PER PERSON	OCCUPANT LOAD	
GUARD OFFICE	100	137 SF	150 SF	1	
RESTROOM / HARDENED ROOM	101	57 SF	150 SF	0	
VISITOR BADGE-UP	102	84 SF	150 SF	1	
UTILITY ROOM	103	54 SF	300 SF	0	
		333 SF	1	2	



**AEROJET New Guard** Post - 2

Design Phase

#### CONSTRUCTION **DOCUMENTS**

lo.	Date	Description

CROMWELL ARCHITECTS/ **ENGINEERS** 



CROMWELL ARCHITECTS ENGINEERS, INC. ALL RIGHTS RESERVED

2024-052

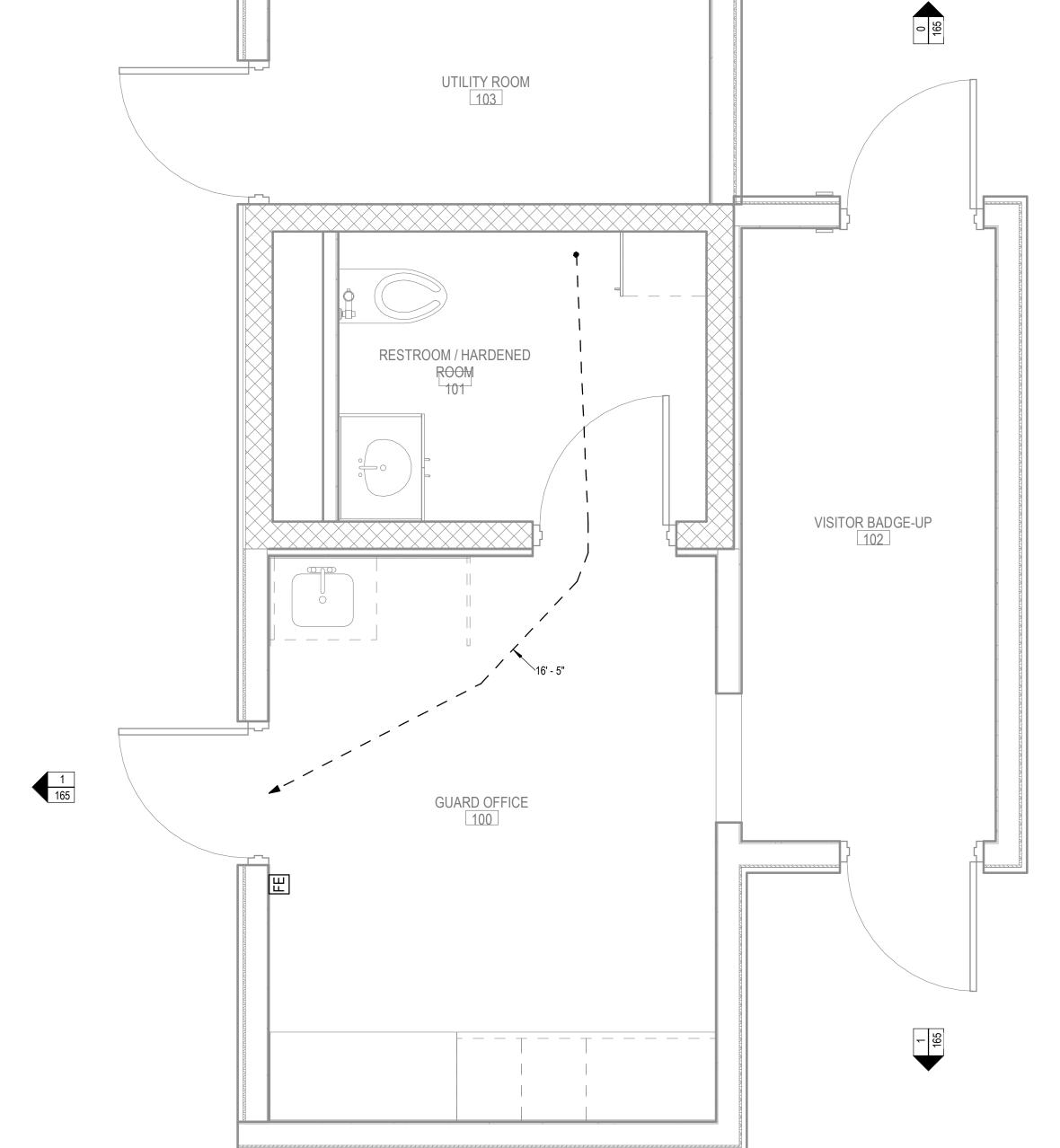
2. THIS SHEET DESIGNED FOR COLOR PRINTING. CRITICAL INFORMATION MAY BE LOST WITH BLACK AND WHITE PRINTING.

Project Number —

07-17-2024 Sheet Title —

> LIFE SAFETY FLOOR PLAN

Sheet Number —



LIFE SAFETY FLOOR PLAN

1/2" = 1'-0"

0

1

1/2" = 1'-0"

Only visible utilities were shown.

[] CROMWELL 1300 East 6th Street Little Rock, AR 72202 501.372.2900 cromwell.com

**AEROJET** New Guard Post - 2

Design Phase

#### CONSTRUCTION **DOCUMENTS**

Date Description

np -	

1. CROMWELL ARCHITECTS ENGINEERS, INC. ALL RIGHTS RESERVED

2. THIS SHEET DESIGNED FOR COLOR PRINTING.
CRITICAL INFORMATION MAY BE LOST WITH
BLACK AND WHITE PRINTING. Project Number -

2024-052

07-17-2024

Sheet Title

SITE SURVEY

Sheet Number

SCALE:1"= 30'